



Mount  
Vernon  
IOWA

**City of Mt. Vernon  
Planning and Zoning Commission  
September 10, 2025 6:30 PM  
City Hall, 213 1<sup>st</sup> Street NW**

**MEETING PACKET**

**Remote / Zoom Access:**

For those who are unable to attend please log onto Zoom 5-10 minutes prior to the meeting. Contact staff member Leigh Bradbury at (319) 929-6541 for a link to be emailed to you, or log on utilizing the meeting ID#: **687 626 2505**

**City of Mount Vernon  
Planning and Zoning Commission  
City Hall 213 First St NW  
September 10, 2025 6:30 PM**



**AGENDA**

1. Call to Order / Roll Call
2. Approval of Agenda
3. Approval of Minutes: July 16, 2025
4. Public Discussion: Items not on the agenda. Each citizen is limited to 5 minutes
5. Site Plan Review: Mount Vernon Bank & Trust – Parking Lot Reconstruction Phase 2
6. Staff Updates
  - Rachel Street
  - Spring Meadow 4<sup>th</sup> Addition
  - Stonebrook Park
  - MVCSD – MAC Locker Room / Coaches Office

**PLANNING & ZONING COMMISSION**  
**Meeting Minutes**  
**July 16, 2025**

**The Mount Vernon Planning & Zoning Commission met on July 16, 2025 at City Hall, 213 First St NW, Mount Vernon, IA; with the option of attendance via Zoom.**

**Call to Order:** At 6:35 p.m., Commission Chair Truman Jordan called the meeting to order.

**Roll Call:** Four members present: Truman Jordan, Jay Willems, Jacob Lindauer, Mary Horst and Julie Nosek. Squires and George not attending, staff member Bradbury attending.

**Approval of Agenda:** Staff recommended removal of Item #6, Site Plan Review for T-Mobile, from the agenda. The existing proposal does not comply with a IDNR regulations. Motion by Willems to remove the item from consideration and approve the agenda with said amendment, seconded by Horst. All in favor.

**Approval of Minutes:** Move to approve the minutes for June 11, 2025, by Horst, seconded by Willems. All in favor.

**Public discussion - items not on the agenda:** None.

**Item #5 Site Plan Review – Public Works Facility Site Plan Amendment / Fire Training Tower**

An email was sent in follow-up to the meeting packet indicating that the full site plan, as submitted by the Fire Department is to be considered (not just the training tower). Two representatives from the Fire Department, Dave Buster and Todd Weaver were present to answer questions.

- The west building will be a burn building compliant with NFPA 1410 clean, organic, fuel packages. This will be used to expose trainees to heat, smoke, and fire. The inside will meet 1410 requirements for burn buildings and outfitting.
- A middle 30x40 building will provide and area for equipment charging and storage, as well as shelter for staff members during training.

- The east building will be three (3) containers wide by two (2) tall, with a goal of eventually going three (3) tall. This structure will be a clean building. It will be modular, to allow for different training scenarios and floor plans. This will allow crews to train under moderate/low conditions and not soil their gear with smoke/heat (carcinogens).

Motion to recommend approval to City Council, Willems; seconded by Horst. All in favor.

### **Other Discussion**

MVCSD will be proceeding with construction of the locker rooms and coaches office previously approved on the site plan for the Mustang Athletic Complex (MAC).

Community Housing Initiatives will have their ribbon cutting and open house for Cottonwood Apartments on August 22, 2025.

A portion of the parkland set aside for Stonebrook will be regraded and seeded this summer to improve access and use to area residents.

**The next meeting date is set for August 13, 2025 at 6:30 p.m.**

**Adjournment at 7:57 p.m.**

DRAWINGS OF PROPOSED IMPROVEMENTS  
FOR  
MOUNT VERNON BANK & TRUST PARKING LOT RECONSTRUCTION - PHASE 2  
IN THE CITY OF MOUNT VERNON, LINN COUNTY, IOWA

UTILITY AND EMERGENCY TELEPHONE NUMBERS

CITY OF MOUNT VERNON, IOWA		
MOUNT VERNON PUBLIC WORKS DEPARTMENT	(319)-480-2663	
MOUNT VERNON POLICE DEPARTMENT	(319)-895-6141	
EMERGENCY	911	
MOUNT VERNON FIRE DEPARTMENT	(319)-895-8320	
EMERGENCY	911	
MOUNT VERNON WATER DEPARTMENT	(319)-270-0459	
MOUNT VERNON SEWER MAINTENANCE DEPARTMENT	(319)-270-0459	
IOWA ONE CALL (UTILITIES)	(800)-292-8989	
MID-AMERICAN ENERGY	(319)-298-5162	
CENTURY LINK (TELEPHONE)	(319)-399-7600	
ENGINEER, WEST SIDE	(319)-399-7487	
ENGINEER, EAST SIDE	(319)-786-1912	
ALLIANT/ILE.S. INDUSTRIES (ELECTRIC, STEAM)	(319)-786-1959	
INFORMATION	(319)-786-1959	
MEDIACOM (CABLE TV)	(319)-395-9699	
BUSINESS LOCATIONS	(800)-292-8989	
WINDSTREAM (TELEPHONE / CABLE TV)	(319)-790-7114	
BUSINESS LOCATIONS	(800)-292-8989	
IMON (TELEPHONE / CABLE TV)	(319)-261-4670	
SOUTHSLOPE (TELEPHONE / CABLE TV)	(319)-665-5312	
LINN COUNTY REC	(319)-377-1587	
IOWA DEPARTMENT OF TRANSPORTATION		
DISTRICT ENGINEER	(319)-364-0235	
MAINTENANCE GARAGES	(319)-364-8189	
LINN COUNTY ENGINEER	(319)-892-6400	
LINN COUNTY MAINTENANCE	(319)-892-6420	

UTILITY LEGEND	
EXISTING	PROPOSED
SS8	SS8
ST18	ST18
FM6	FM6
W12	W12
G	G
S	S
OHE	OHE
E	E
C	C
OHC	OHC
OHT	OHT
F	F
OHF	OHF
T	T
FP	FP
FW	FW
CORP	CORP
800	800
LIGHT POLE W/O MAST	LIGHT POLE W/O MAST
LIGHT POLE W/MAST	LIGHT POLE W/MAST
TELEPHONE POLE	TELEPHONE POLE
POWER POLE	POWER POLE
GUY ANCHOR	GUY ANCHOR
GUY POLE	GUY POLE
TELEPHONE PEDESTAL	TELEPHONE PEDESTAL
TELEPHONE MANHOLE	TELEPHONE MANHOLE
CABLE TV PEDESTAL	CABLE TV PEDESTAL
UTILITY/CONTROL CABINET	UTILITY/CONTROL CABINET
SANITARY MANHOLE	SANITARY MANHOLE
STORM MANHOLE	STORM MANHOLE
GRATE INTAKE	GRATE INTAKE
RA-3 INTAKE	RA-3 INTAKE
RA-5 INTAKE	RA-5 INTAKE
RA-6 INTAKE	RA-6 INTAKE
RA-8 INTAKE	RA-8 INTAKE
HORSESHOE CATCH BASIN W/O FLUME	HORSESHOE CATCH BASIN W/O FLUME
HORSESHOE CATCH BASIN W/FLUME	HORSESHOE CATCH BASIN W/FLUME
GAS VALVE	GAS VALVE
FLARED END SECTION	FLARED END SECTION
CLEANOUT, STORM OR SANITARY	CLEANOUT, STORM OR SANITARY
TRAFFIC SIGNAL W/MAST	TRAFFIC SIGNAL W/MAST

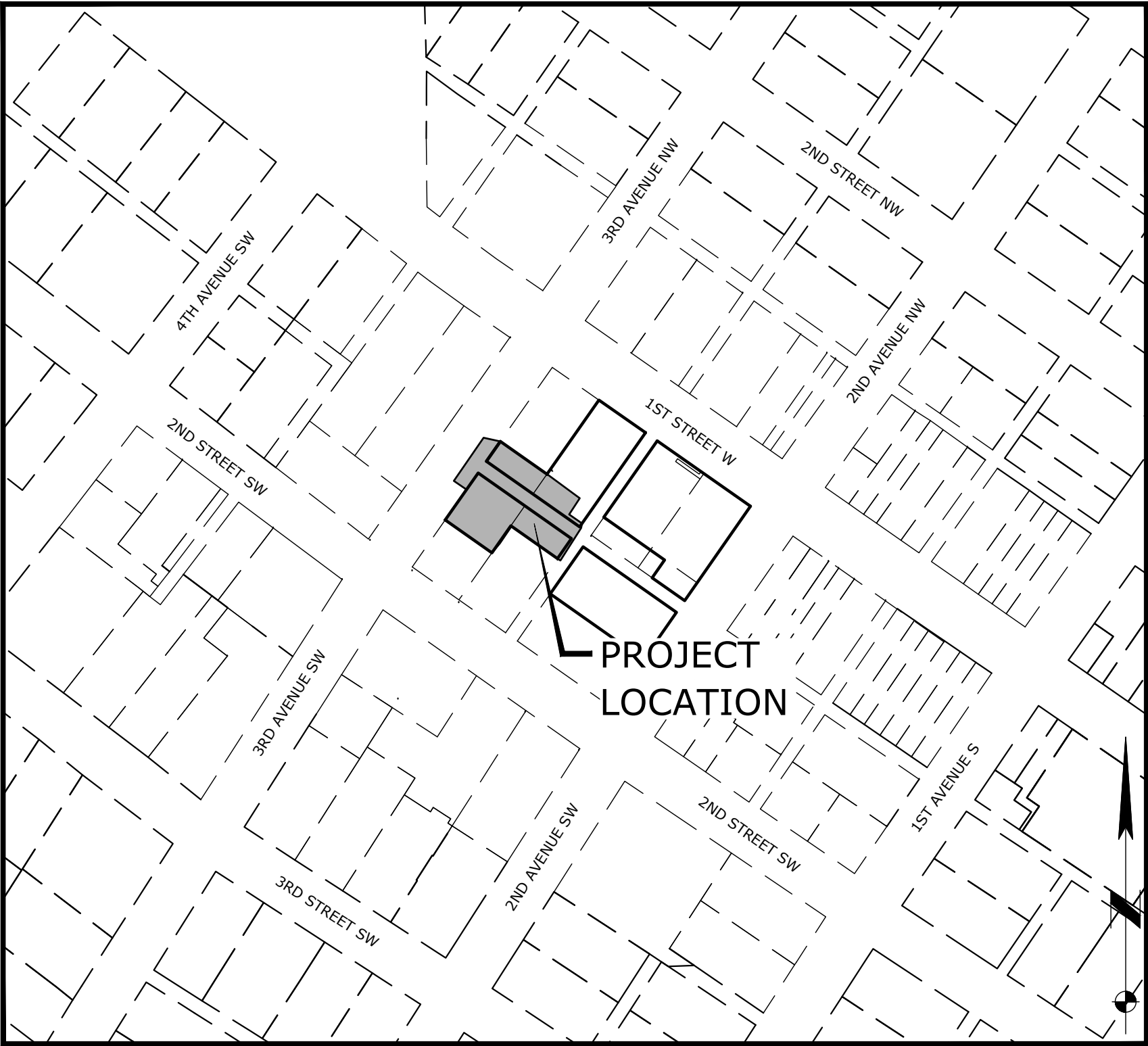
NOTE: THIS IS A STANDARD LEGEND. SOME ITEMS MAY NOT APPEAR ON DRAWINGS.

UTILITY LEGEND (CONTINUED)	
EXISTING	PROPOSED
BM	BM
ST	ST
W	W
SB	SB
WV	WV
WS	WS
CM	CM
BOLLARD	BOLLARD
BENCHMARK	BENCHMARK
STREET SIGN	STREET SIGN
WELL	WELL
SOIL BORING	SOIL BORING
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
WATER SHUTOFF	WATER SHUTOFF
WATER BLOWOFF	WATER BLOWOFF
SURVEY CONTROL MONUMENT AS NOTED	SURVEY CONTROL MONUMENT AS NOTED

SURVEY LEGEND	
□	SET REBAR W/CAP NO.
○	SET PK NAIL
●	FOUND SURVEY MONUMENT AS NOTED
⊗	FOUND RIGHT OF WAY RAIL
△	SECTION CORNER SET AS NOTED
▲	SECTION CORNER FOUND AS NOTED
×	CUT "X" IN CONCRETE
( )	RECORDED AS
---	EASEMENT LINE
---	PLAT OR SURVEY BOUNDARY
---	PLAT LOT LINE
---	CENTERLINE
---	SECTION LINE
---	1/4 SECTION LINE
---	1/4-1/4 SECTION LINE
---	EXISTING LOT LINE
---	BUILDING SETBACK LINE

PLANT LEGEND	
EXISTING	PROPOSED
DECIDUOUS TREE	DECIDUOUS TREE
CONIFEROUS TREE	CONIFEROUS TREE
DECIDUOUS SHRUB	DECIDUOUS SHRUB
CONIFEROUS SHRUB	CONIFEROUS SHRUB
TREE STUMP	TREE STUMP
TREE LINE DRIP EDGE	TREE LINE DRIP EDGE

LOCATION MAP  
(1"=150')



NOTES

THE PROPOSED IMPROVEMENTS INCLUDED IN THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND MOUNT VERNON STANDARD SUPPLEMENTAL SPECIFICATIONS UNLESS OTHERWISE NOTED.

APPLICANT:

MOUNT VERNON BANK & TRUST CO  
DAVID RYAN  
206 1ST STREET W  
MOUNT VERNON, IA 52314  
dryan@mountvernonbank.com

TITLEHOLDER:

MOUNT VERNON BANK & TRUST CO  
DAVID RYAN  
206 1ST STREET W  
MOUNT VERNON, IA 52314  
dryan@mountvernonbank.com

PROPERTY ADDRESS

206 1ST STREET W

AREA CALCULATIONS

TOTAL SITE AREA: 13,692 SF / 0.31 AC

EXISTING:  
BUILDING AREA: 735 SF / 0.01 AC (5.4%)  
PAVED AREA: 9,100 SF / 0.21 AC (66.5%)  
OPEN AREA: 3,857 SF / 0.09 AC (28.1%)

PROPOSED:  
BUILDING AREA: 0 SF / 0 AC (0.0%)  
PAVED AREA: 8,485 SF / 0.19 AC (62.0%)  
OPEN AREA: 5,207 SF / 0.12 AC (38.0%)

PARKING REQUIREMENTS

EXISTING PARKING:  
TOTAL SITE PARKING = 19 SPACES  
ADA PARKING:  
PARKING PROVIDED = 0 SPACES

PARKING PROVIDED:  
TOTAL SITE PARKING = 25 SPACES  
ADA PARKING:  
PARKING REQUIRED = 0 SPACES  
PARKING PROVIDED = 0 SPACES

ZONING

EXISTING: CB - CENTRAL BUSINESS DISTRICT  
PROPOSED: NO CHANGE

DIMENSIONAL STANDARDS

BUILDING PLACEMENT	
BUILD-TO	CB
MAX BUILDING COVERAGE	100%
MAX IMPERVIOUS COVERAGE	100%
SETBACKS (FT)	
FRONT	0' MIN, 15' MAX
SIDE, STREET	0'
SIDE, INTERIOR	0'
REAR	0'

SHEET INDEX

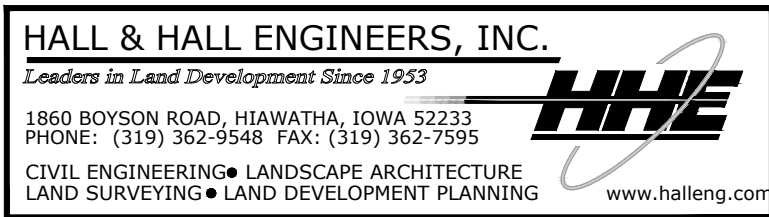
NO.	DESCRIPTION
C0.0	COVER
C1.0	GENERAL NOTES AND DETAILS
C2.0	EXISTING CONDITIONS AND REMOVALS PLAN
C3.0	LAYOUT PLAN
C4.0	UTILITY PLAN
C5.0	GRADING AND EROSION CONTROL PLAN
C5.1	EROSION CONTROL NOTES AND DETAILS
C6.0	PAVING PLAN
L1.0	RESTORATION, LANDSCAPE, AND VENEER KEY PLAN
L1.1	LANDSCAPE NOTES AND DETAILS
L1.2	WALL VENEER DETAILS

STRUCTURAL SERIES SHEETS


	I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Iowa. Registration No. P24550 My license renewal date is December 31, 2025. Pages or sheets covered by this seal:
Seal	
	I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed professional engineer under the laws of the State of Iowa. Registration No. P26822 My license renewal date is December 31, 2024. Pages or sheets covered by this seal:
Seal	



CITY OF  
Mount Vernon  
Iowa



HALL AND HALL PROJECT NUMBER: 10902-2



1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SDAS DESIGN STANDARDS AND CITY OF MT. VERNON DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, UNLESS OTHERWISE NOTED.
2. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MAINTENANCE OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAYBE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. IOWA CODE 48.04, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE -CALL 1-800-292-8989. NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
3. THE MEANS OF THE WORK AND SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
4. NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO CONSTRUCTION.
5. NOTIFY THE APPROPRIATE GOVERNING AUTHORITY 48 -72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. HALL AND HALL ENGINEERS SHALL BE THE AGENCY RESPONSIBLE FOR INSPECTION DURING CONSTRUCTION OF THE PUBLIC PORTIONS OF THE PROJECT. CITY OF MOUNT VERNON WILL PERFORM INSPECTIONS AND SITE VISITS DURING CONSTRUCTION. GIVE ADVANCED NOTICE AS SPECIFIED IN MOUNT VERNON DESIGN STANDARDS.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
7. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
8. IF NECESSARY, PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
9. ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE (IF APPLICABLE). ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
10. CONTRACTOR SHALL REFER TO STRUCTURAL PLANS FOR STOO PIZES AND LOCATIONS.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION AT NO ADDITIONAL COST TO OWNER. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

1. PROTECT ADJACENT PROPERTY DURING DEMOLITION.
2. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
3. PREVENT WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL Hauled OFF THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE EASEMENTS, UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND TEMPORARY HAUL ROADS TO PREVENT THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
4. KEEP ADJACENT PUBLIC STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS.
5. DURING CONSTRUCTION, CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
6. REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
7. ANY EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC...) THAT THE CONTRACTOR'S OPERATIONS DAMAGE SHALL BE REPAIRED BY THAT CONTRACTOR AT HIS/HER EXPENSE.
8. WHERE A SECTION OF PAVEMENT, CURB AND GUTTER OR SIDEWALK IS CUT OR OTHERWISE DAMAGED BY THE CONTRACTOR, THE ENTIRE SECTION SHALL BE REMOVED AND REPLACED. PAVEMENT, CURBS, GUTTERS AND SIDEWALKS SHALL BE REMOVED A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
9. SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
10. EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY CONTRACTOR IN ONE OF THE FOLLOWING WAYS:
  - A. CONNECT TILE TO THE NEAREST STORM SEWER.
  - B. DAYLIGHT TO FINISHED GROUND.
  - C. REPAIR TILE AND MAINTAIN SERVICE.
11. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF A TILE IS ENCOUNTERED AND SHALL INDICATE THE METHOD OF RESOLVING THE CONFLICT. THE ENGINEER SHALL APPROVE THE PROPOSED METHOD. THE LOCATION OF THE FIELD TILE SHALL BE RECORDED ON THE CONSTRUCTION RECORD DOCUMENTS.

1. GENERAL, MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS ARE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING THEMSELVES WITH THE EXISTING SITE AND BUILDING CONDITIONS WHICH EFFECT THEIR RESPECTIVE PORTIONS OF WORK. ADDITIONS TO THE CONTRACT SUM WILL NOT BE GRANTED FOR DEMOLITION, PATCHING, OR REPAIR WORK REQUIRED TO SATISFY THE INTENT INDICATED IN THE CONTRACT DOCUMENTS WHICH ARE VISIBLY EVIDENT UPON INSPECTION OF THE EXISTING FACILITY.
2. CONTRACTORS ARE TO NOTIFY THE ENGINEER IMMEDIATELY OF ANY KNOWN DISCREPANCIES IN THE CONTRACT DOCUMENTS WHICH MAY AFFECT THE SCOPE OF WORK IN ADVANCE TO ALLOW FOR ISSUANCE OF AN ADDENDUM TO CLARIFY THE BID DOCUMENTS.
3. CONTRACTORS ARE RESPONSIBLE FOR THE DEMOLITION OF ITEMS PERTAINING TO THEIR RESPECTIVE TRADES, UNLESS SPECIFICALLY STATED OTHERWISE IN THE DRAWINGS OR SPECIFICATIONS. CONTRACTS FOR NEW CONSTRUCTION INCLUDE THE DEMOLITION OF ALL GENERAL, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS NECESSARY TO INCORPORATE WORK AS DESIGNED AND DETAILED IN THE CONTRACT DOCUMENTS.
4. TYPICALLY REMOVE ALL ITEMS INTACT, SAVE FOR REUSE THOSE ITEMS SCHEDULED TO BE RELOCATED OR REUSED. ITEMS INCLUDE BUT NOT BE LIMITED TO FOLLOWING: LIGHT FIXTURES, LIGHT POLES, FENCING AND MISCELLANEOUS ACCESSORIES ITEMS. REVIEW WITH OWNER ITEMS NOT INDICATED TO BE REUSED WHICH ARE DESIGNATED TO BE STORED FOR FUTURE USE BY THE OWNER. PROPERLY DISPOSE OF ITEMS NOT SCHEDULED TO BE REUSED OR STORED.
5. GENERAL CONTRACTOR AND RESPECTIVE SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETE DEMOLITION AND SUBSEQUENT EARTHWORK AND LANDSCAPING OF ALL SURFACES AFFECTED BY THE REMOVAL OF EXISTING CONSTRUCTION, PIPING, EQUIPMENT, AND UTILITY LINES INDICATED OR SCHEDULED TO BE REMOVED.
6. PROJECT WORK AREAS SHALL BE BROOM CLEANED AT THE CONCLUSION OF EACH WORK DAY. REMOVE AND PROPERLY DISPOSE OF ALL RUBBISH A MINIMUM OF ONCE A WEEK DURING THE CONSTRUCTION PERIOD.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROTECTION TO ALL SURFACES, EQUIPMENT, AND ASSOCIATED ITEMS WHICH REMAIN DURING THE DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT. ALL SUCH SURFACES AND ITEMS ARE TO BE PROPERLY CLEANED AND RETURNED TO ORIGINAL CONDITION AT THE CONCLUSION OF CONSTRUCTION.
8. CONTRACTORS ARE RESPONSIBLE FOR PROTECTION OF EXISTING LANDSCAPING, GRASS AREAS, BUSHES, SHRUBS, AND OTHER ITEMS WHICH REMAIN DURING THE DEMOLITION AND CONSTRUCTION PHASES OF THE PROJECT.
9. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL MISCELLANEOUS EXISTING ITEMS AS NECESSARY TO COMPLETE THE PROJECT.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ITEMS OFF-SITE THAT ARE UNSUITABLE FOR REUSE AND/OR ARE UNWANTED BY THE OWNER. THESE ITEMS SHALL BE DISPOSED OF PER ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
11. THE CONTRACTOR IS RESPONSIBLE FOR ALL HAULING, TRUCKING, AND DISPOSAL FEES.
12. UNDERGROUND STRUCTURES MAY BE DISCOVERED DURING GRADING AND DEMOLITION THAT ARE NOT KNOWN TO EXIST THEREFORE NOT SHOWN ON THE PLANS, IF SUCH STRUCTURES ARE FOUND CONTRACTOR SHALL CONTACT OWNER IMMEDIATELY.
13. CARE SHALL BE TAKEN DURING CONCRETE REMOVALS ADJACENT TO EXISTING BUILDINGS THAT SUCH ACTIVITIES DO NOT CREATE VIBRATIONS THAT COULD CAUSE DAMAGE TO EXISTING BUILDINGS.

1. STRIP EXISTING VEGETATION AND TOPSOIL WITHIN THE GRADING LIMITS AND AREAS TO RECEIVE FILL. STOCKPILE ON SITE FOR REUSE IF SUITABLE.
2. PROOF ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. PROOF ROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT.
3. REMOVE AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO MEET SPECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT.
4. SCARIFY EXISTING SUBGRADE TO A DEPTH OF 8 INCHES AND RECOMPACT TO 95% OF STANDARD PROCTOR DENSITY (ASTM D698) PRIOR TO PLACEMENT OF FILL.
5. DO NOT PLACE, SPREAD, OR COMPACT ANY FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS AND DO NOT RESUME CONSTRUCTION OPERATIONS UNTIL MOISTURE CONTENT AND COMPACTION DENSITY OF IN-PLACE FILL MATERIAL ARE WITHIN SPECIFIED LIMITS.
6. PLACE FILL MATERIAL IN 9" MAXIMUM LIFTS
7. FILLS PLACED BELOW LAWN AREAS SHALL BE COMPACTED TO 90% OF MATERIAL MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D698).
8. SCARIFY SUBGRADE TO DEPTH OF 3 INCHES WHERE TOPSOIL IS SCHEDULED. SCARIFY AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS CAUSED COMPACTED SUBSOIL.
9. FILL MATERIAL OBTAINED FROM OFF-SITE SOURCES SHALL BE SOIL OR SOIL AND ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OF 6 INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR ROCKS SHALL BE LARGER THAN 2-1/2 INCHES IN GREATEST DIMENSION.
10. SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0" OF FINAL SUBGRADE. THE FINAL 1.0" OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
11. EXISTING FILL WITH ORGANICS OR UNSUITABLE MATERIAL SHALL BE OVEREXCAVATED TO A DEPTH OF 12" AND REPLACED WITH SUITABLE FILL MATERIAL.
12. IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS. REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT RESULTING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0" OF FINAL SUBGRADE. THE FINAL 1.0" OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
13. FILL PLACED WITHIN THE BUILDING AREA AND IN AREAS TO BE PAVED SHOULD CONSIST OF APPROVED MATERIALS WHICH ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF 9 INCHES OR LESS IN LOOSE THICKNESS. FILL PLACED ABOVE SHALLOW FOOTING BASE ELEVATION FOR FLOOR SLAB SUPPORT IN THE BUILDING AREA AND MORE THAN 12 INCHES BELOW FINISHED SUBGRADE ELEVATION IN AREAS TO BE PAVED SHOULD BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DRY DENSITY (ASTM D698). THE UPPER 12 INCHES OF SUBGRADE IN AREAS TO BE PAVED AND FILL PLACED BELOW SHALLOW FOOTING BASE ELEVATION IN THE BUILDING AREA SHOULD BE COMPACTED TO AT LEAST 98% STANDARD PROCTOR DRY DENSITY (ASTM D698). THE HIGHER DEGREE OF FILL COMPACTION BELOW FLOORINGS IN THE BUILDING AREAS SHOULD EXTEND LATERALLY BEYOND THE EXTERIOR EDGES OF PERIMETER FOOTINGS AT LEAST 8 INCHES PER FOOT BELOW FOOTING BASE ELEVATION.
14. FINISH CONTOURS SHOWN ARE TO TOP OF PAVEMENT OR TO TOP OF TOPSOIL.
15. CONTRACTOR SHALL GRADE GRASSED AREAS, BETWEEN FACE OF BUILDING AND BACK OF WALK, TO DRAIN TO YARD DRAINS WITH POSITIVE DRAINAGE AWAY FROM THE BUILDING.
16. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR FILL AND COMPACTION REQUIREMENTS FOR RETAINING WALL FOOTINGS.

1. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUDAS DESIGN STANDARDS MANUAL LATEST EDITION AND THE CITY OF MT. VERNON DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AS APPROVED BY THE IOWA DNR, UNLESS OTHERWISE NOTED IN THE DRAWINGS.
2. VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.
3. ALL OPEN EXCAVATIONS SHALL BE PROTECTED WITH SAFETY FENCE, BARRIERS OR BARRICADES IN ACCORDANCE WITH OSHA

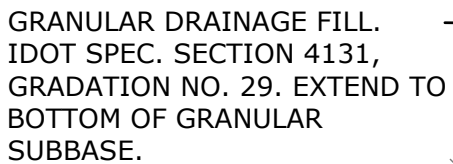
1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB OR EDGE OF SLAB UNLESS NOTED OTHERWISE.
3. REMOVE AND REPLACE OR RESTORE ALL STREET SIGNS, PAVEMENT MARKINGS, SIDEWALK LAMPS, SIDEWALKS, STEPS, LANDSCAPE STRUCTURES, CURB AND GUTTER, STREETS, DRIVES AND ALL OTHER SURFACE STRUCTURES REMOVED OR OTHERWISE DAMAGED DURING THE COURSE OF THE WORK. SIDEWALKS SHALL BE REMOVED AND REPLACED TO NEAREST JOINT BEYOND CONSTRUCTION AREA.
4. SUBBASE FOR PAVEMENTS SHALL MEET THE LIMITS OF GRADATION NO. 14, IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 412.3.
5. REFER TO CROSS SECTION DETAILS FOR TYPES OF SUBBASE REQUIRED IN PAVED AREAS.
6. COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
7. PROOF ROLL SUBGRADE WITH A MINIMUM 25 TON G.V.W. TRUCK TO IDENTIFY AREAS OF SOFT OR UNSTABLE SUBGRADE. REMOVE AND REPLACE UNSTABLE AREAS WITH SUITABLE COMPACTED MATERIAL.

1. PCC PAVING THICKNESS SHALL BE AS NOTED ON THE PLANS AND DETAILS.
2. MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
3. MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENT SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE I CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5%. LIMESTONE AGGREGATE SHALL BE 1-1/2" MAXIMUM SIZE. AIR ENTRAINMENT ADJUSTMENTS AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
4. CURING COMPOUND (WHITE, DARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR SECTION 4105. APPLICATION METHOD AND CURING SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19.
5. FLYASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIFIED IN SECTION 2301.04E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
6. PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.
7. CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
8. UNLESS OTHERWISE NOTED, PCC SIDEWALKS SHALL BE 4 INCHES THICK, EXCEPT AT DRIVEWAYS. THICKNESS OF PCC WALKS AT DRIVEWAYS SHALL MATCH THAT OF THE ADJACENT DRIVEWAY. TRANSVERSE CONSTRUCTION JOINTS SPACING SHALL BE AT 4 FEET MAXIMUM CENTERS FOR 4 FEET WIDE WALKS, AND 5 FEET MAXIMUM CENTERS FOR 5 FEET WIDE WALKS, 6 FEET MAXIMUM CENTERS FOR WALKS GREATER THAN 5 FEET IN WIDTH. LONGITUDINAL CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN SLABS GREATER THAN 8 FEET IN WIDTH. PLACE EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% DRAINED TOWARDS BACK OF CURB, UNLESS OTHERWISE NOTED.
9. ONE INCH PREFORMED FLOW EXPANSION JOINT MATERIAL, SONOLUX "P" BY SONOBORON OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. ALL JOINTS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONALISTIC SL-1 OR APPROVED EQUAL.
10. ALL PCC SHALL BE JOINTED AT 12 FEET O.C. MAXIMUM DISTANCE. JOINTING SHALL BE IN ACCORDANCE WITH SUDAS JOINTS SPECIFICATIONS DETAIL P-101.
11. CONSTRUCTION 1' EXPANSION JOINTS ON PCC CURB AT ALL ENDS OF RETURN RADII.

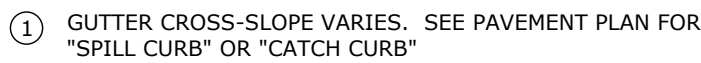
1. PAINT MARKING STRIPES AND SIDEWALK CURBS, TRAFFIC DIRECTION ARROWS, HANDICAP SYMBOLS AND FACE OF LIGHT POLE BASES "WHITE" WHERE SHOWN ON PLANS. VERIFY COLOR OF PAVEMENT MARKINGS WITH OWNER PRIOR TO CONSTRUCTION.
2. PAVEMENT MARKINGS SHALL BE FAST DRY TRAFFIC LANE MARKING PAINT CONFORMING TO IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST EDITION, SECTION 4183.03.
3. PAINTING SHALL NOT BEGIN UNTIL PAVEMENT SURFACE HAS BEEN POWER BROOMED AND HAND SWEEP AS NECESSARY TO REMOVE LOOSE MATERIALS AND DIRT; AND NOT BEFORE ADEQUATE CURING TIME HAS BEEN OBTAINED ON THE PAVEMENT.
4. APPLY PAINT AT MANUFACTURER'S RECOMMENDED RATES IN TWO SEPARATE COATS FOR ALL PAVEMENT MARKINGS. ALL STRIPES ARE TO BE PAINTED AT THE OTHER SIDE OF THE ROAD TO SWEEPERS.



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

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MOUNT VERNON BANK & TRUST PARKING LOT RECONSTRUCTION - PHASE 2  
IN THE CITY OF MOUNT VERNON  
LINN COUNTY, IOWA

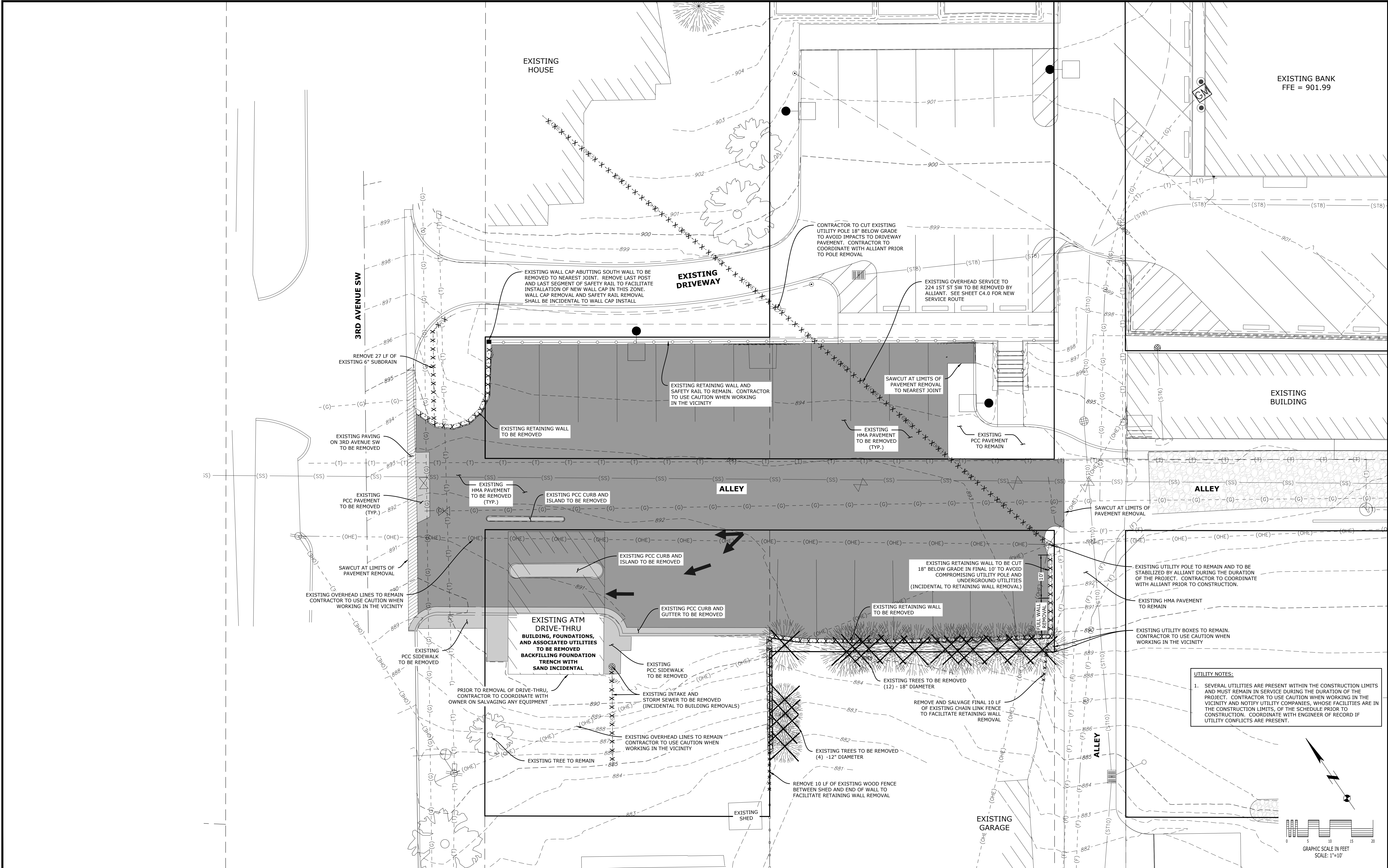
## GENERAL NOTES AND DETAILS

SHEET

C1.0

PROJECT NO: 10902-2





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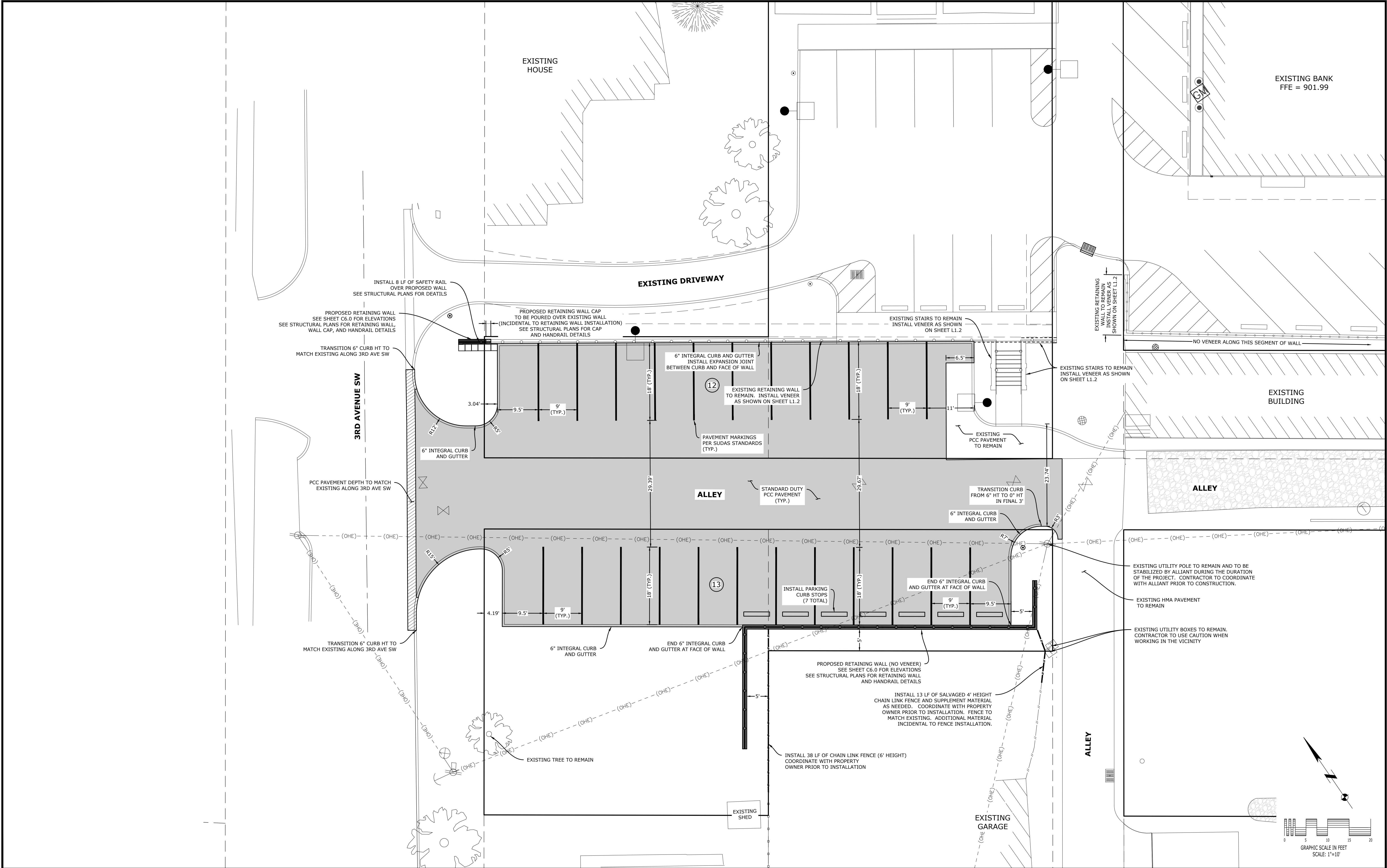
**EXISTING CONDITIONS AND REMOVALS PLAN**

**SHEET**  
**C2.0**

PROJECT NO: 10902-2

CAD File: 1: projects\10902-2 Mount Vernon Bank & Trust Phase 2 DWG\01\10902-2\_P01.dwg Date Plotted: Jul 25, 2025 - 9:24am Plotted By: JSTONE





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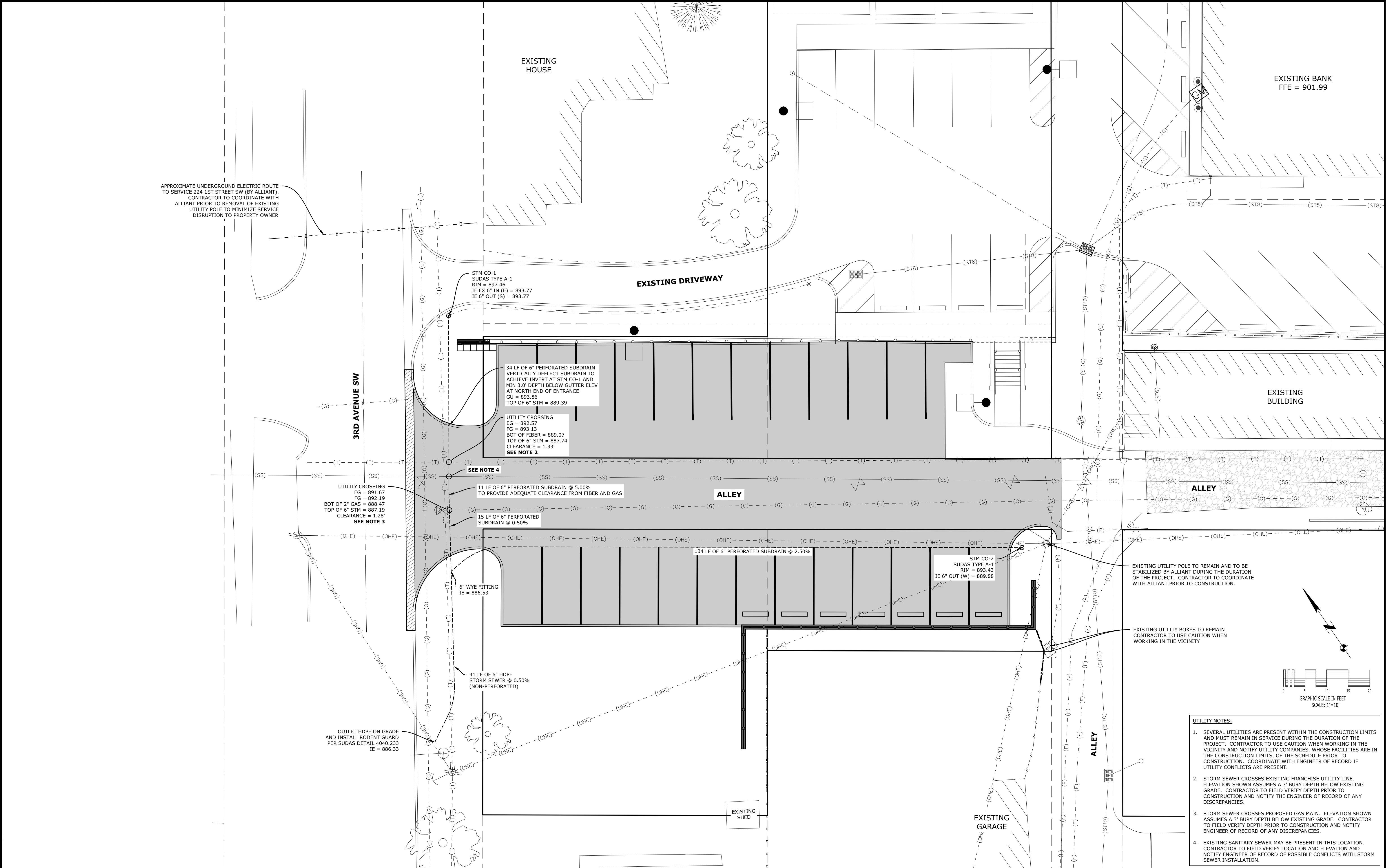
LAYOUT PLAN

SHEET  
C3.0

PROJECT NO: 10902-2

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UTILITY PLAN

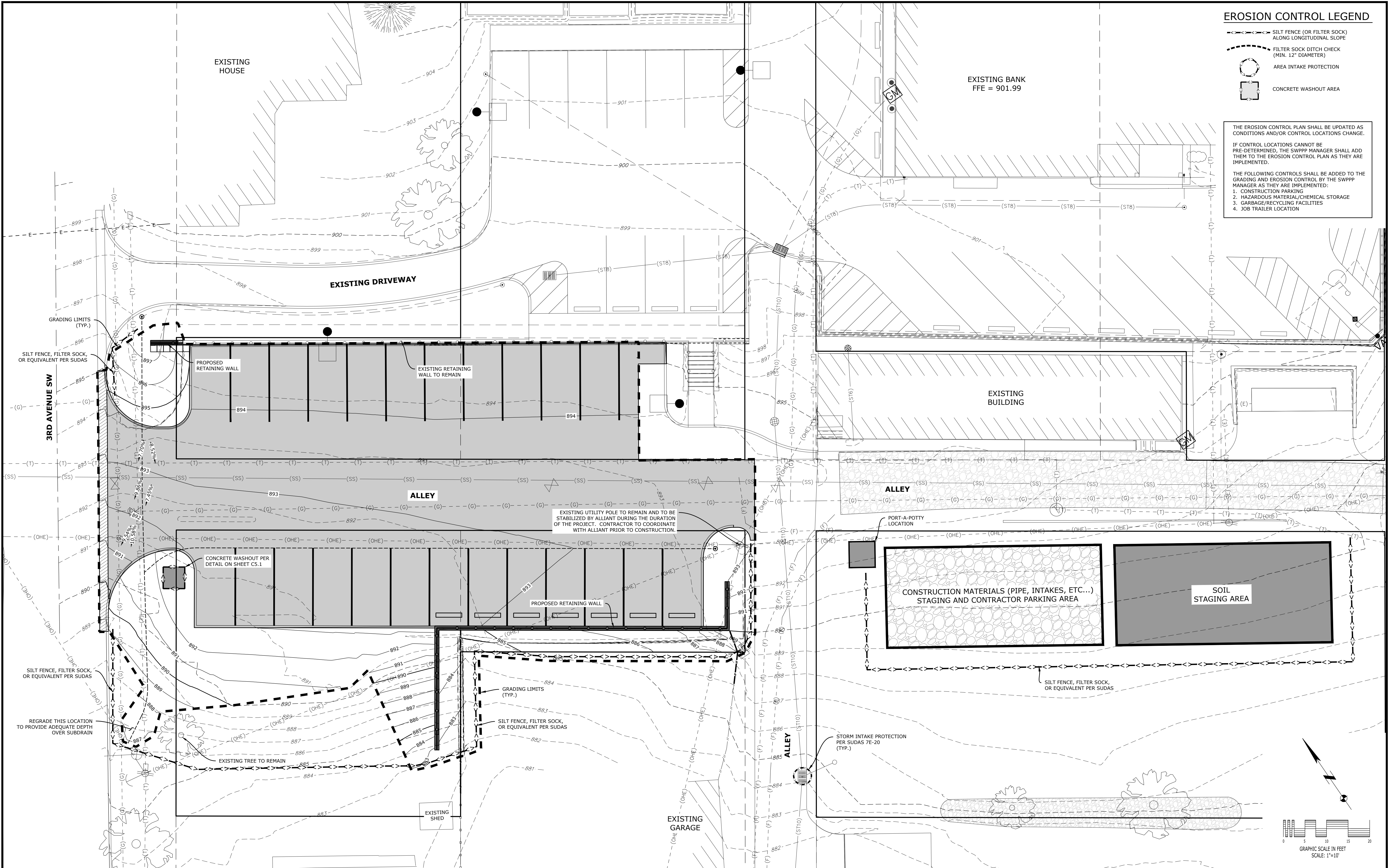
SHEET

C4.0

PROJECT NO: 10902-2

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**MOUNT VERNON BANK & TRUST PARKING LOT RECONSTRUCTION - PHASE 2**  
**IN THE CITY OF MOUNT VERNON**  
**LINN COUNTY, IOWA**

**GRADING AND EROSION CONTROL PLAN**

**SHEET**  
**C5.0**

PROJECT NO: 10902-2

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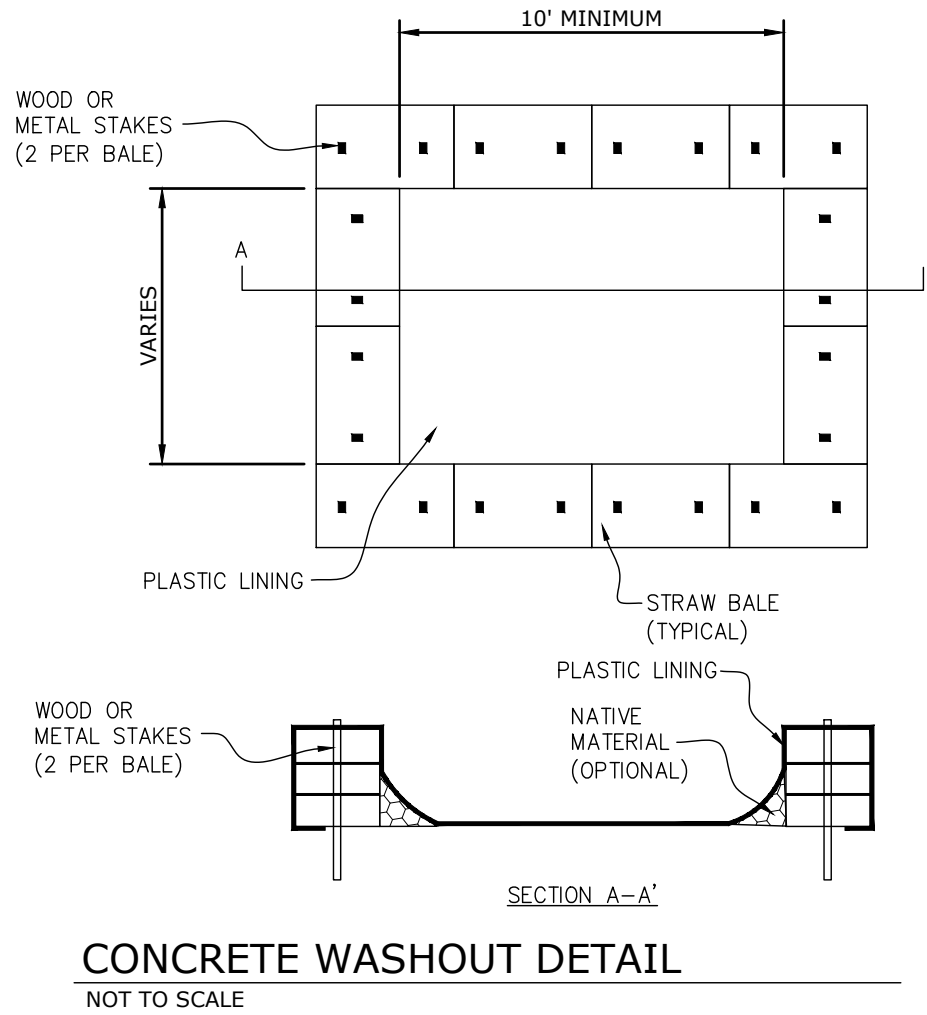
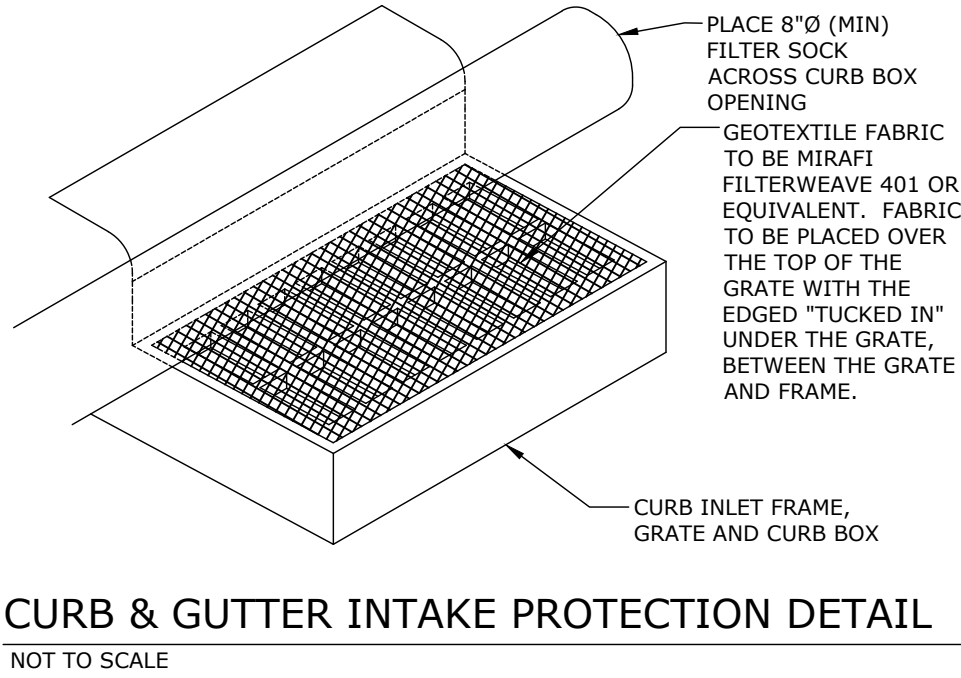
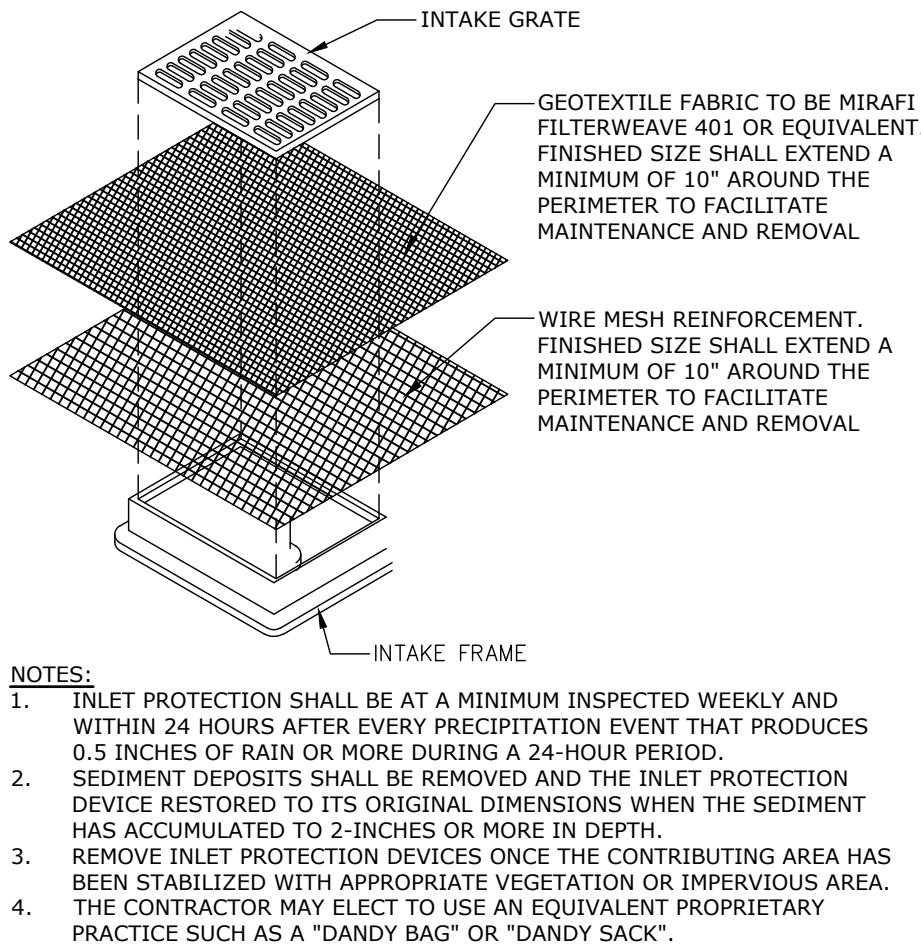
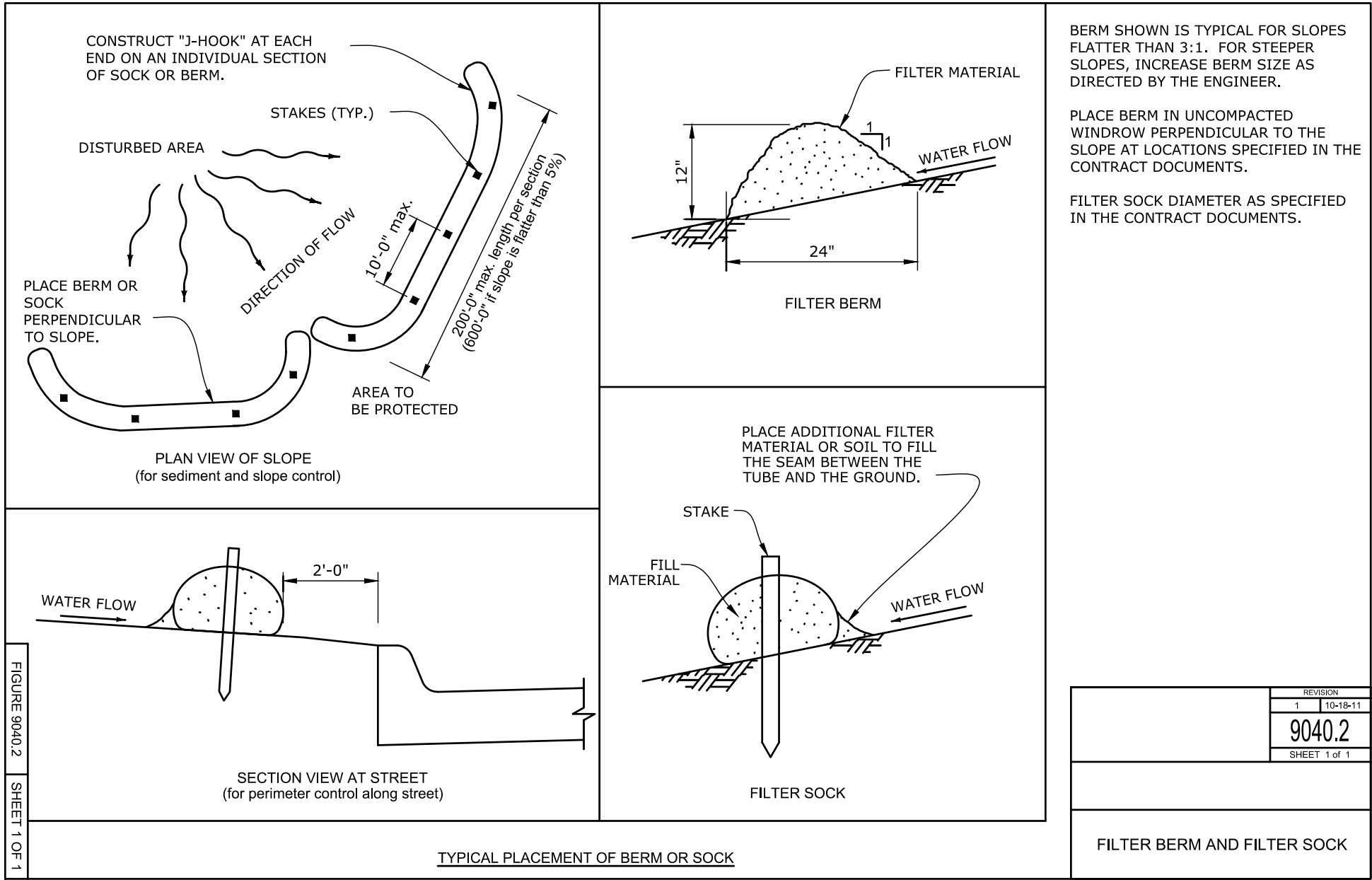


EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE APPROVED PLAN AND DETAILS/SPECIFICATIONS, PER THE STORM WATER POLLUTION PREVENTION PLAN AND AS DEEMED NECESSARY BY THE JURISDICTIONAL ENGINEER. CONTRACTOR SHALL BE PREPARED TO INSTALL ADDITIONAL MEASURES BEYOND THOSE SHOWN ON THE EROSION CONTROL PLAN IF SITE CONDITIONS WARRANT.
- PERIMETER EROSION CONTROL METHODS SHALL BE IN PLACE PRIOR TO AREAS BEING DISTURBED.
- EROSION CONTROL DEVICES SHALL BE CHECKED BY THE GENERAL CONTRACTOR EVERY SEVEN (7) DAYS AND AFTER EACH RAINFALL EVENT EQUAL TO 1/2" OR GREATER TO ENSURE WORKING ORDER.
- ALL SLOPES 4:1 OR STEEPER SHALL BE STABILIZED WITH ROLLED EROSION CONTROL MATTING OR EQUIVALENT.
- TEMPORARY AND PERMANENT SEEDING SHALL BE COMPLETED BY THE CONTRACTOR TO STABILIZE THE SITE PER SUDAS SPECIFICATIONS SECTION 9010 & 9040 AND LANDSCAPING PLANS.
- REPAIRS TO SOIL EROSION CONTROL DEVICES DEEMED NECESSARY SHALL BE COMPLETED IMMEDIATELY UPON NOTIFICATION OR WITHIN 24 HOURS IF WEATHER DELAYS.
- THE CONTRACTOR SHALL STRIP AND STOCKPILE THE TOPSOIL, AND RESPREAD THE TOPSOIL IN ACCORDANCE WITH THE LANDSCAPE PLAN FOR FINISHED GRADE WORK. ANY EXCESS TOPSOIL TO BE DISPOSED OF PER APPLICABLE REGULATIONS AND OWNER'S DISCRETION.
- WHEN CONSTRUCTION ACTIVITIES ARE COMPLETE, RESPREAD TOPSOIL OVER THE DISTURBED SITE PER THE LANDSCAPE PLAN. THEN PROVIDE SEEDING OR SODDING PER THE PROPOSED LANDSCAPING PLAN.
- PROVIDE TEMPORARY SEEDING IN DISTURBED AREAS WHERE OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL NOT BE COMPLETED FOR A PERIOD OF 7 DAYS OR MORE.
- SILT FENCES, IF USED, SHALL BE INSTALLED PER SUDAS STANDARD DETAIL 9040.119. ADDITIONAL SILT FENCE SHALL BE INSTALLED AS NECESSARY BY THE CONTRACTOR. MAINTENANCE AND/OR REPLACEMENT OF THE SILT FENCE IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL INSTALL TEMPORARY SILT FENCE, COMPOST SOCKS OR EQUIVALENT AROUND ALL INTAKES. EROSION CONTROL SOCKS OR EQUIVALENT SHALL BE USED AT STREET INTAKES ONCE THE STREET PAVING HAS BEEN COMPLETED. EROSION SOCKS SHALL BE MAINTAINED UNTIL THE SITE HAS BEEN STABILIZED.
- THE DETAILS SHOWN HEREIN DESCRIBES VARIOUS METHODS OF CONSTRUCTION WHICH MAY BE REQUIRED FOR THE CONTROL OF SILTATION ON THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCOMPLISHING THE REQUIRED CONSTRUCTION WORK ON THIS PROJECT IN SUCH A MANNER AS TO EFFECTIVELY MINIMIZE AND CONTROL THE WATER POLLUTION WHICH MIGHT BE CAUSED BY SOIL EROSION FROM THE PROJECT. IT IS INTENDED THAT THESE FEATURES BE MAINTAINED IN APPROPRIATE FUNCTIONAL CONDITION FROM INITIAL CONSTRUCTION STAGES TO FINAL COMPLETION OF PROJECT.
- IN ADDITION TO THE DETAILS SHOWN, OTHER PROVISIONS FOR CONTROLLING EROSION MAY BE INCORPORATED INTO THE PROJECT WORK.
- CONTRACTOR TO REGULARLY CLEAN STREETS/DRIVES OF SOIL TRACKED FROM SITE WITHIN A PERIOD OF 24 HOURS.
- CONTRACTOR SHALL PROTECT ROW AND COORDINATE ANY WORK AFFECTING NEIGHBORING PROPERTIES.
- CONTRACTOR SHALL PROVIDE ADDITIONAL SILT FENCE OR EQUIVALENT AS NECESSARY IN AREAS WHERE EROSION MAY LEAVE SITE DUE TO CONSTRUCTION ACTIVITIES.
- ALL MATERIALS HAULED OFF-SITE SHALL BE SECURED TO PREVENT LITTERING.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL SEEDED AREAS UNTIL GROUND FREEZES. MAINTENANCE INCLUDES WEEDING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS UNTIL INITIAL ACCEPTANCE.

GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATIONS AND DETAILS, LATEST EDITION.
- COORDINATE DEBRIS STOCKPILE LOCATIONS AND DEBRIS DISPOSAL WITH OWNER.
- CONTRACTOR SHALL STRIP TOPSOIL MATERIAL WITHIN GRADING LIMITS TO A MINIMUM OF 6" DEPTH. REFER TO SUDAS SPECIFICATIONS FOR ALL OTHER GRADING REQUIREMENTS.
- EXCESS TOPSOIL TO BE UTILIZED AS FILL OUTSIDE OF BUILDING/ROADWAY AREAS TO HELP ACHIEVE A BALANCE OF EARTHWORK.
- ANTICIPATED DISTURBANCE AREA IS APPROXIMATELY 0.26 ACRES.



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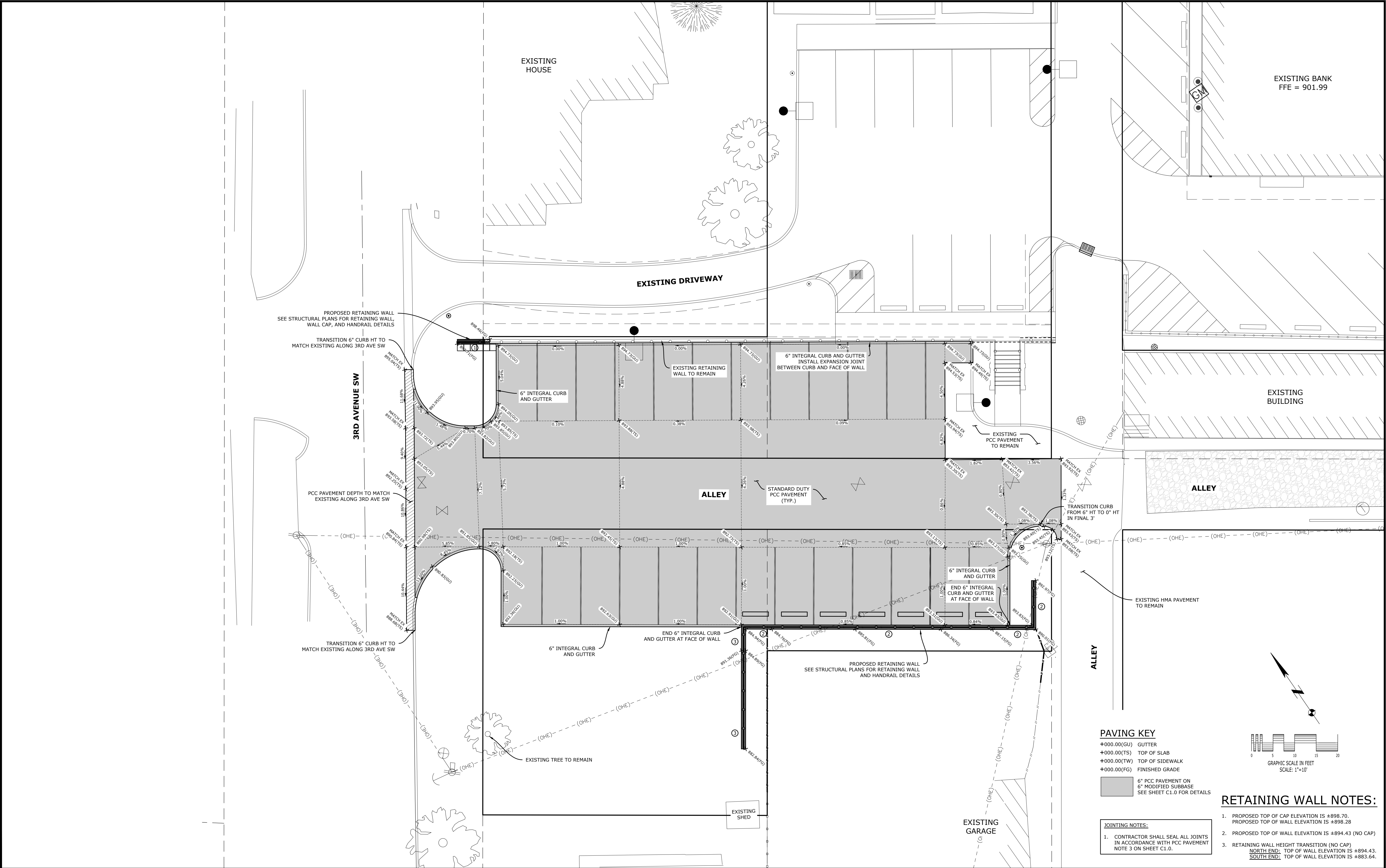
MOUNT VERNON BANK & TRUST PARKING LOT RECONSTRUCTION - PHASE 2  
IN THE CITY OF MOUNT VERNON  
LINN COUNTY, IOWA

EROSION CONTROL NOTES AND DETAILS

PROJECT NO: 10902-2

SHEET  
C5.1



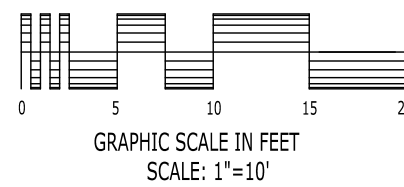


PAVING KEY

- +000.00(GU) GUTTER
- +000.00(TS) TOP OF SLAB
- +000.00(TW) TOP OF SIDEWALK
- +000.00(FG) FINISHED GRADE
- 6" PCC PAVEMENT ON 6" MODIFIED SUBBASE SEE SHEET C1.0 FOR DETAILS

JOINING NOTES:

- CONTRACTOR SHALL SEAL ALL JOINTS IN ACCORDANCE WITH PCC PAVEMENT NOTE 3 ON SHEET C1.0.



RETAINING WALL NOTES:

- PROPOSED TOP OF CAP ELEVATION IS ±898.70.  
PROPOSED TOP OF WALL ELEVATION IS ±898.28
- PROPOSED TOP OF WALL ELEVATION IS ±894.43 (NO CAP)
- RETAINING WALL HEIGHT TRANSITION (NO CAP)  
NORTH END: TOP OF WALL ELEVATION IS ±894.43.  
SOUTH END: TOP OF WALL ELEVATION IS ±883.64.

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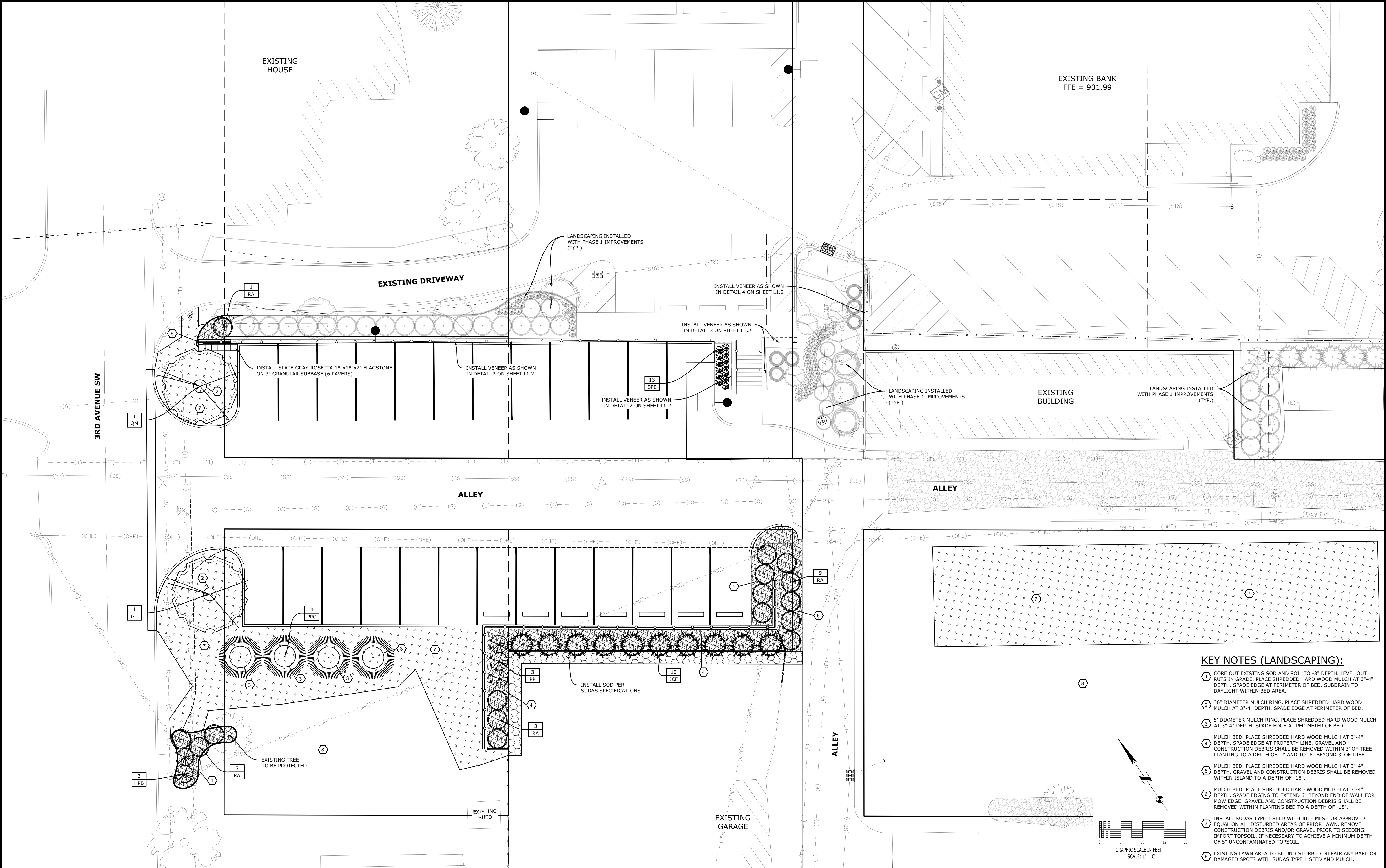
MOUNT VERNON BANK & TRUST PARKING LOT RECONSTRUCTION - PHASE 2  
IN THE CITY OF MOUNT VERNON  
LINN COUNTY, IOWA

PAVING PLAN

SHEET  
C6.0

PROJECT NO: 10902-2





- KEY NOTES (LANDSCAPING):**
- 1 CORE OUT EXISTING SOD AND SOIL TO -3" DEPTH. LEVEL OUT RUTS IN GRADE. PLACE SHREDDED HARD WOOD MULCH AT 3"-4" DEPTH. SPADE EDGE AT PERIMETER OF BED. SUBDRAIN TO DAYLIGHT WITHIN BED AREA.
  - 2 36" DIAMETER MULCH RING. PLACE SHREDDED HARD WOOD MULCH AT 3"-4" DEPTH. SPADE EDGE AT PERIMETER OF BED.
  - 3 5' DIAMETER MULCH RING. PLACE SHREDDED HARD WOOD MULCH AT 3"-4" DEPTH. SPADE EDGE AT PERIMETER OF BED.
  - 4 MULCH BED. PLACE SHREDDED HARD WOOD MULCH AT 3"-4" DEPTH. SPADE EDGE AT PROPERTY LINE. GRAVEL AND CONSTRUCTION DEBRIS SHALL BE REMOVED WITHIN 3' OF TREE PLANTING TO A DEPTH OF -2' AND TO -8" BEYOND 3' OF TREE.
  - 5 MULCH BED. PLACE SHREDDED HARD WOOD MULCH AT 3"-4" DEPTH. GRAVEL AND CONSTRUCTION DEBRIS SHALL BE REMOVED WITHIN ISLAND TO A DEPTH OF -18".
  - 6 MULCH BED. PLACE SHREDDED HARD WOOD MULCH AT 3"-4" DEPTH. SPADE EDGING TO EXTEND 6" BEYOND END OF WALL FOR MOW EDGE. GRAVEL AND CONSTRUCTION DEBRIS SHALL BE REMOVED WITHIN PLANTING BED TO A DEPTH OF -18".
  - 7 INSTALL SUDAS TYPE 1 SEED WITH JUTE MESH OR APPROVED EQUAL ON ALL DISTURBED AREAS OF PRIOR LAWN. REMOVE CONSTRUCTION DEBRIS AND/OR GRAVEL PRIOR TO SEEDING. IMPORT TOPSOIL, IF NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 5" UNCONTAMINATED TOPSOIL.
  - 8 EXISTING LAWN AREA TO BE UNDISTURBED. REPAIR ANY BARE OR DAMAGED SPOTS WITH SUDAS TYPE 1 SEED AND MULCH.

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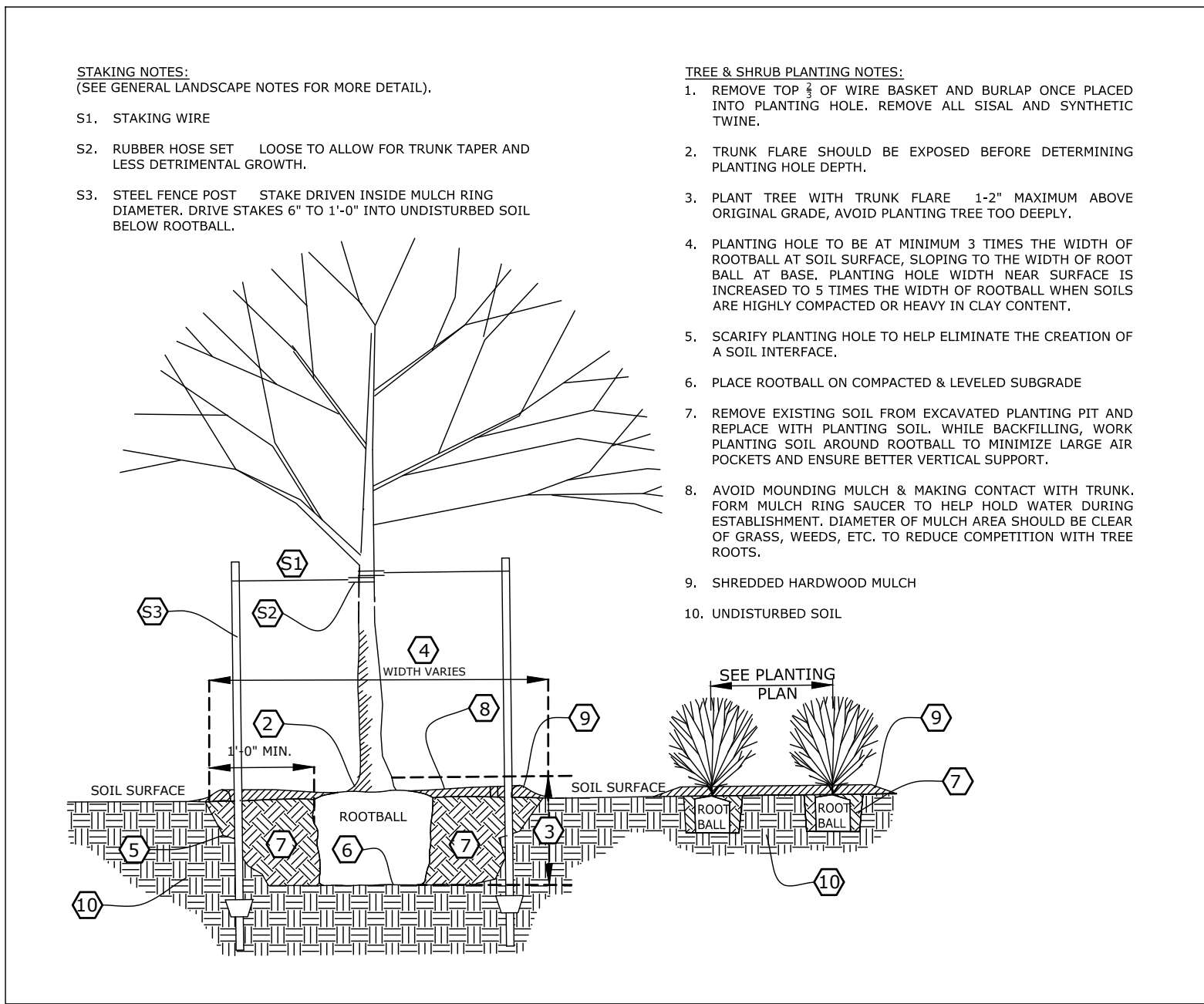
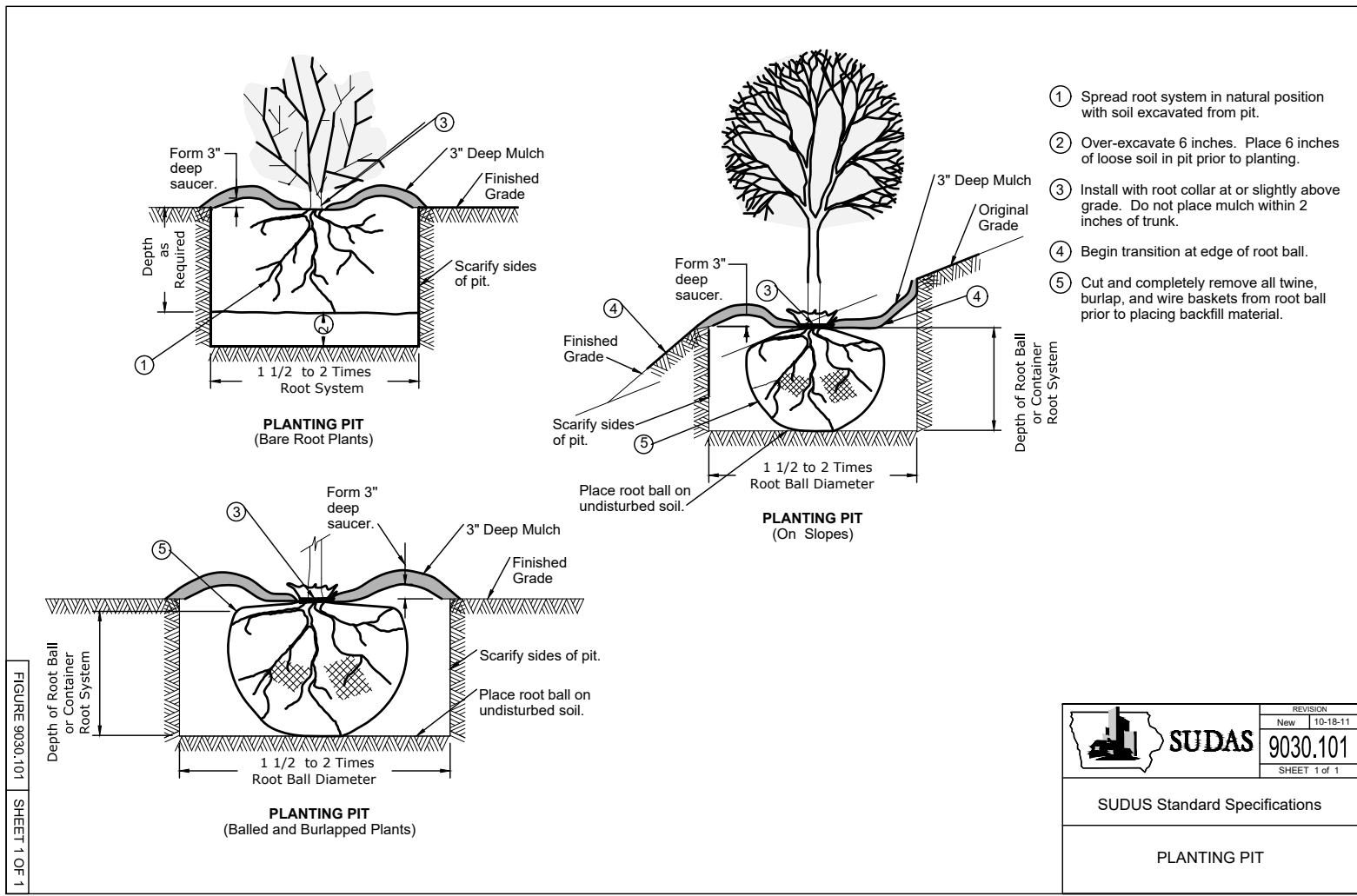
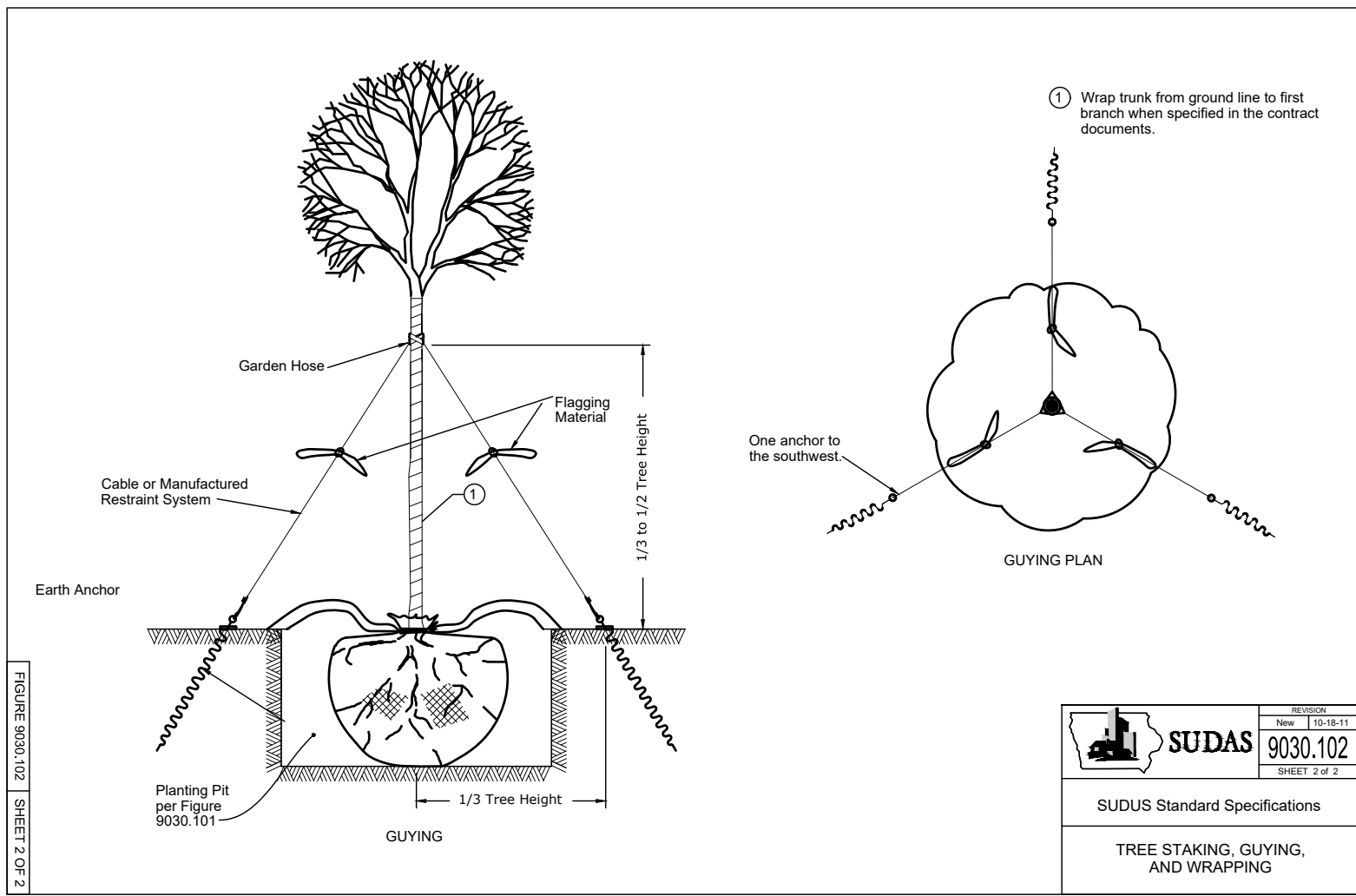
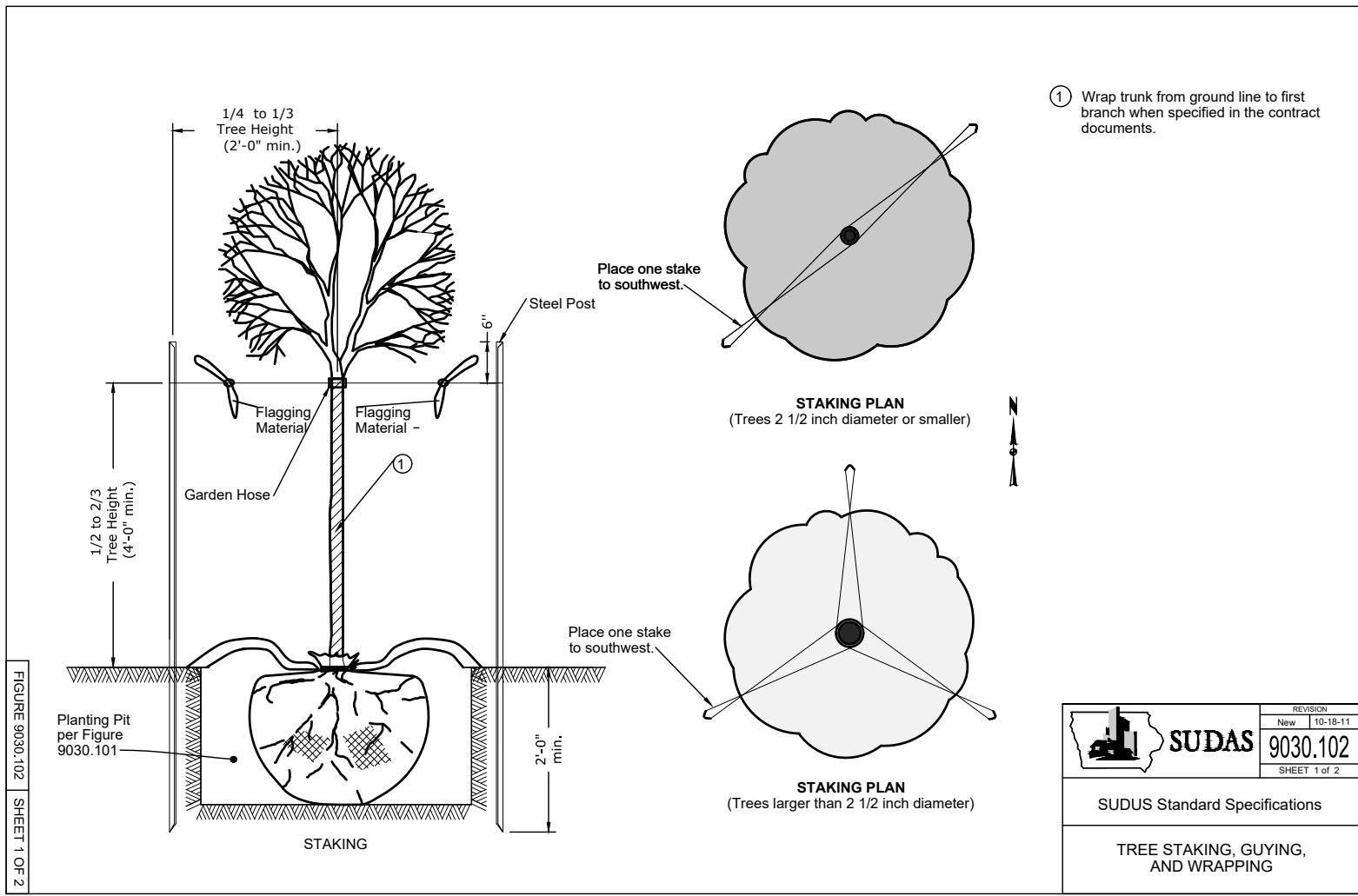


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**IN THE CITY OF MOUNT VERNON**  
**LINN COUNTY, IOWA**

RESTORATION, LANDSCAPE, AND VENEER KEY PLAN	SHEET <b>L1.0</b>
PROJECT NO: 10902-2	





## BED PREPARATION AND MULCHING NOTES

- IMPORTED TOPSOIL, IF REQUIRED, SHALL BE: FERTILE, FRIABLE, NATURAL TOPSOIL, WITH A CLAY CONTENT NOT EXCEEDING 30% AND ORGANIC MATTER CONTENT NOT LESS THAN 5% FREE FROM LUMPS, COARSE SANDS, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL, WITH ACIDITY RANGE OF BETWEEN Ph 6.0 AND 6.8.
- PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL), PER MANUFACTURE'S DIRECTIONS, TO ALL PLANTING BEDS.

## SEED/ SOD APPLICATION NOTES

- IF TURF GRASS LAWN SEED ALTERNATE IS USED IN LIEU OF SOD, ALL SEEDING APPLICATION AREAS SHALL BE PER SUDAS TYPE 1 LAWN MIX.
- ALL TURF GRASS LAWN AREAS, WHETHER SODDED OR SEEDED, UNLESS NOTED OTHERWISE, ARE TO BE PLANTED AND INSTALLED AS PER SUDAS SPECIFICATIONS FOR SEEDING OR SOD
- ALL TURF GRASS SOD TO BE OF THE SAME PERFORMANCE QUALITY AND SPECIES OF SUDAS TYPE 1 SPECIFICATIONS

## SURFACE RESTORATION APPLICATION NOTES

- ALL TURF GRASS LAWN SEED, SHALL BE PER SUDAS TYPE 1 LAWN MIX APPROVED EQUAL
- ALL TURF GRASS LAWN AREAS, UNLESS NOTED OTHERWISE, ARE TO BE PLANTED AND INSTALLED AS PER THE SUDAS SPECIFICATIONS.

## GENERAL LANDSCAPE NOTES

- CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8989) OR 811 AT LEAST 48 HOURS PRIOR TO DIGGING. CONTRACTOR TO REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY AT CONTRACTORS EXPENSE.
- PRIOR TO PLANT MATERIAL INSTALLATION, THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL APPROVE PLANT LOCATIONS. FIELD ADJUSTMENTS OF PROPOSED PLANT LOCATIONS MAY BE REQUIRED TO MINIMIZE POTENTIAL INTERFERENCE WITH EXISTING UTILITIES, TO MINIMIZE HAZARDS TO PLANT GROWTH AND TO IMPROVE MAINTENANCE CONDITIONS AND/OR IN CONSIDERATION OF OTHER FACTORS.
- PRIOR TO INSTALLATION, ALL TREE PLANTING LOCATIONS SHALL BE FLAGGED AND PLANTING BEDS SHALL BE DELINEATED FOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. CONTACT THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE ONE WEEK PRIOR TO ANTICIPATED PLANT MATERIAL INSTALLATION DATE FOR LAYOUT APPROVAL.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- PLANT QUANTITIES ARE FOR CONTRACTOR'S CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE DISCREPANCIES OCCUR.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- NURSERY TAGS SHALL BE LEFT ON PLANT MATERIAL UNTIL LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE HAS COMPLETED THE INITIAL ACCEPTANCE.
- CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS, METALS, OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. CONTRACTOR IS RESPONSIBLE TO RESET PLANTS THAT ARE LEANING WITHIN THE WARRANTY PERIOD WITHIN 1 WEEK OF GIVEN NOTICE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 1/2 THE PLANT.
- CONTRACTOR SHALL WATER AND MAINTAIN ALL LAWN AREAS AND PLANT MATERIAL UNTIL GROUND FREEZES AND/OR FINAL ACCEPTANCE, OR FOR A MINIMUM OF 3 MONTHS. MAINTENANCE IS INCIDENTAL TO THE BASE BID AND INCLUDES, BUT IS NOT LIMITED TO, WEEDING, MOWING, MULCHING, AND OTHER NECESSARY RELATED OPERATIONS
- IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE INSTALLATION CONTRACTOR TO CONFIRM THAT UPON TURN-OVER OF MAINTENANCE ACTIVITIES, OWNER PROPERLY MAINTAINS PLANTINGS AND TURF INSTALLATIONS UNTIL END OF WARRANTY PERIODS.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INITIAL ACCEPTANCE. REPLACE ALL PLANT MATERIAL UP TO ONE YEAR OF INITIAL ACCEPTANCE, IN ACCORDANCE WITH LANDSCAPE PLANS. ALL PLANTS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL HAVE FULL SURFACE RESTORATION IMPLEMENTED BY MEANS OF TURF GRASS LAWN SEED AND/OR SOD, CONTRACTOR TO VERIFY/COORDINATE WITH OWNER UNLESS NOTED OTHERWISE.
- ALL SEEDING APPLICATION NOTES ARE LISTED IN SOD/SEED APPLICATION NOTES. CONTRACTOR SHALL FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATIONS FOR PRODUCT INFORMATION & INSTALLATION, OR SUDAS SPECS/DESIGN STANDARDS OR CITY STANDARDS, AS APPLICABLE.
- FOR ALL OTHER LANDSCAPING WORK NOT ADDRESSED VIA MANUFACTURER'S SPECIFICATIONS OR NOT COVERED WITHIN THESE GENERAL NOTES, CONTRACTOR SHALL FOLLOW SUDAS OR CITY STANDARDS AS APPLICABLE. THE PLAN AND NOTES ON THIS SHEET SHALL SUPERCEDE SUDAS OR CITY STANDARDS AS APPLICABLE
- ALL LANDSCAPE TO BE INSTALLED PER APPLICABLE SUDAS OR CITY STANDARDS.
- NURSERY SOURCE FOR LANDSCAPE PLANTS SHOWN HEREON SHALL BE WITHIN A 500 MILE RADIUS OF MOUNT VERNON, IOWA AND GROWN IN A CLIMATE ZONE OF 5A OR COLDER.
- PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. DO NOT ALLOW ADDITION OF TOPSOIL, PLANTING SOIL OR MULCH TO DETER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.

## PLANT SCHEDULE

ID	QNTY	BOTANICAL/COMMON NAME	MIN. SIZE	ROOT	SPACING	NOTES
OVERSTORY / SHADE TREES						
GT	1	Gleditsia triacanthos var. inermis 'Draves' STREET KEEPER HONEY LOCUST	2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
QM	1	Quercus macrocarpa 'JFS-KW3' URBAN PINNACLE OAK	2" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
CONIFEROUS / EVERGREEN TREES						
PP	4	Picea pungens 'Iseli Fastigiata' ISLEI FASTIGIATE COLORADO SPRUCE	5' HGT	BB	4' O.C.	NURSERY MATCHED, QUALITY SPECIMEN
DECIDUOUS SHRUBS						
RA	16	Rhus aromatica 'Gro-Low' GRO-LOW FRAGRANT SUMAC	3 GAL.	CONTAINER	4.5' O.C.	NURSERY MATCHED, QUALITY SPECIMEN
HPB	2	Hydrangea paniculata 'Bobo' PANICLE HYDRANGEA	1 GAL.	CONTAINER	4' O.C.	NURSERY MATCHED, QUALITY SPECIMEN
EVERGREEN TREES						
JCF	10	Juniperus chinensis 'Fairview' CHINESE JUNIFER	5' HGT	BB	6.4' O.C.	NURSERY MATCHED, QUALITY SPECIMEN
PPC	3	Picea pungens COLORADO SPRUCE	5' HGT	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
PERENNIALS / ORNAMENTAL AND NATIVE GRASSES						
SPE	13	Sedum 'Purple Emperor' STONECROP	6" POT	POT	18" O.C.	NURSERY MATCHED, QUALITY SPECIMEN

DRAWN BY: JGS					
CHECKED BY: LMH					
APPROVED BY: JGS					
DATE: 07-25-2025					
FIELD BOOK:	NO.	REVISION DESCRIPTION	APPROVED	DATE	



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MOUNT VERNON BANK & TRUST PARKING LOT RECONSTRUCTION - PHASE 2  
IN THE CITY OF MOUNT VERNON  
LINN COUNTY, IOWA

LANDSCAPE NOTES AND DETAILS

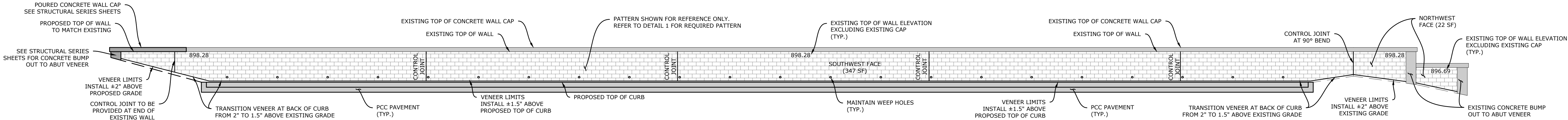
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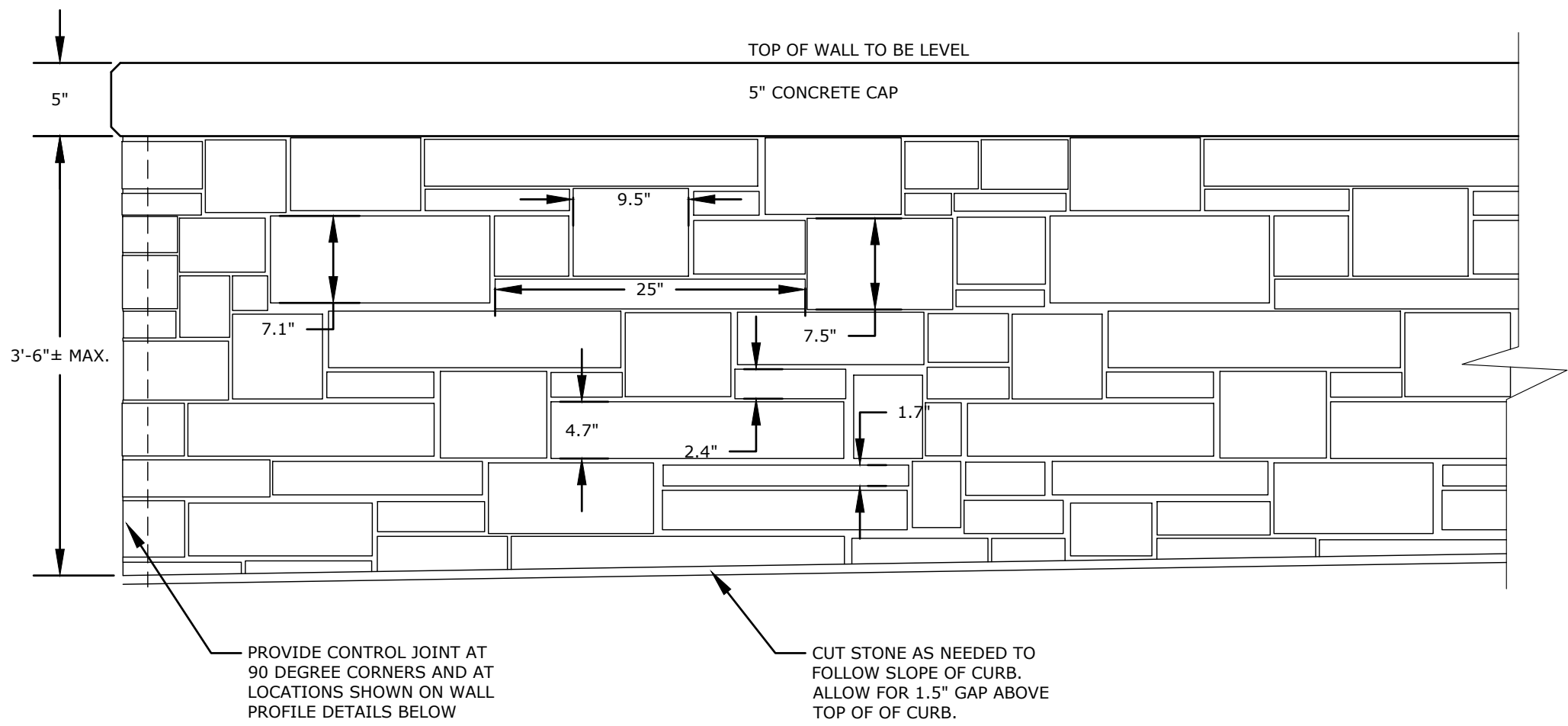
PROJECT NO: 10902-2



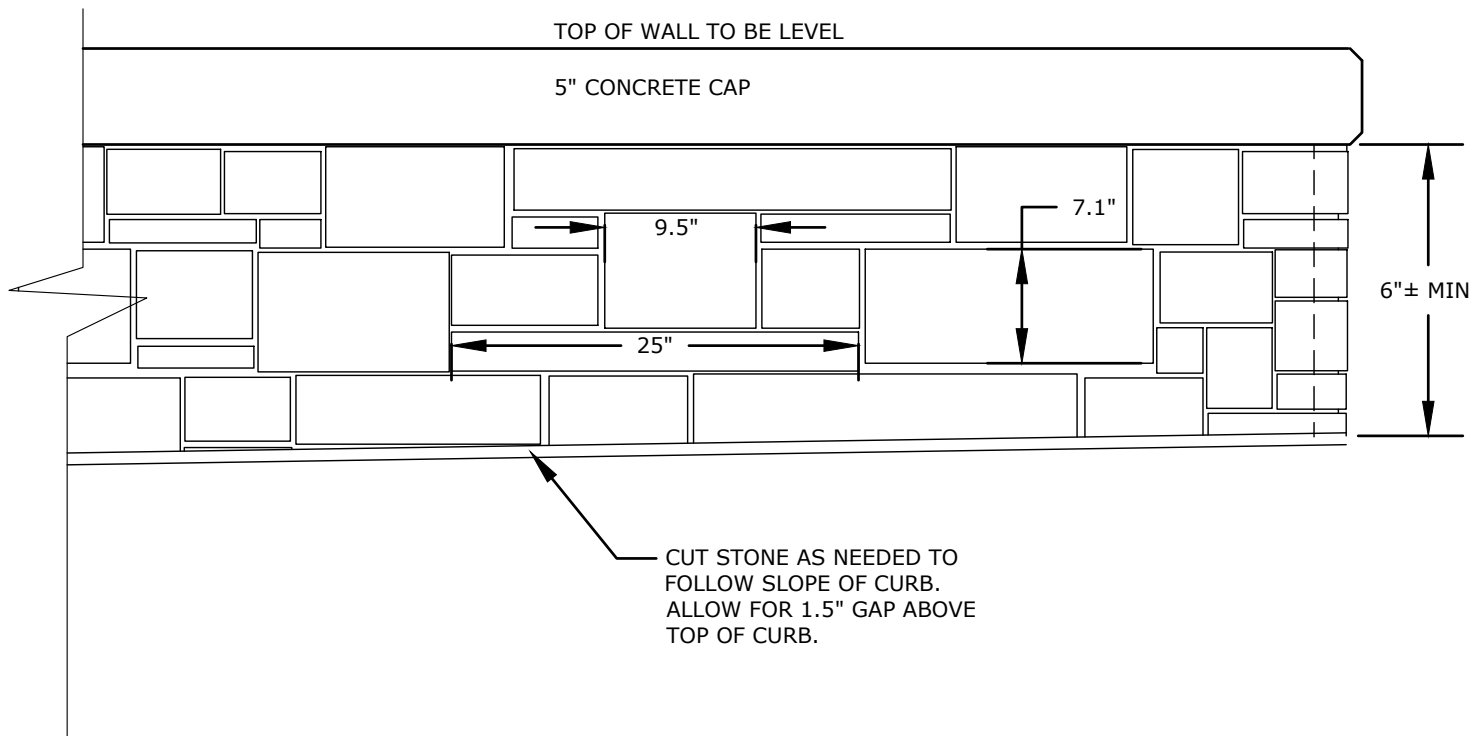
VENEER SURFACE AREA TABULATION:	
• SOUTHWEST FACE =	347 SF
• NORTHWEST FACE =	22 SF
TOTAL =	369 SF



2 EXISTING WALL PROFILE (PROPOSED VENEER)  
(NOT TO SCALE)

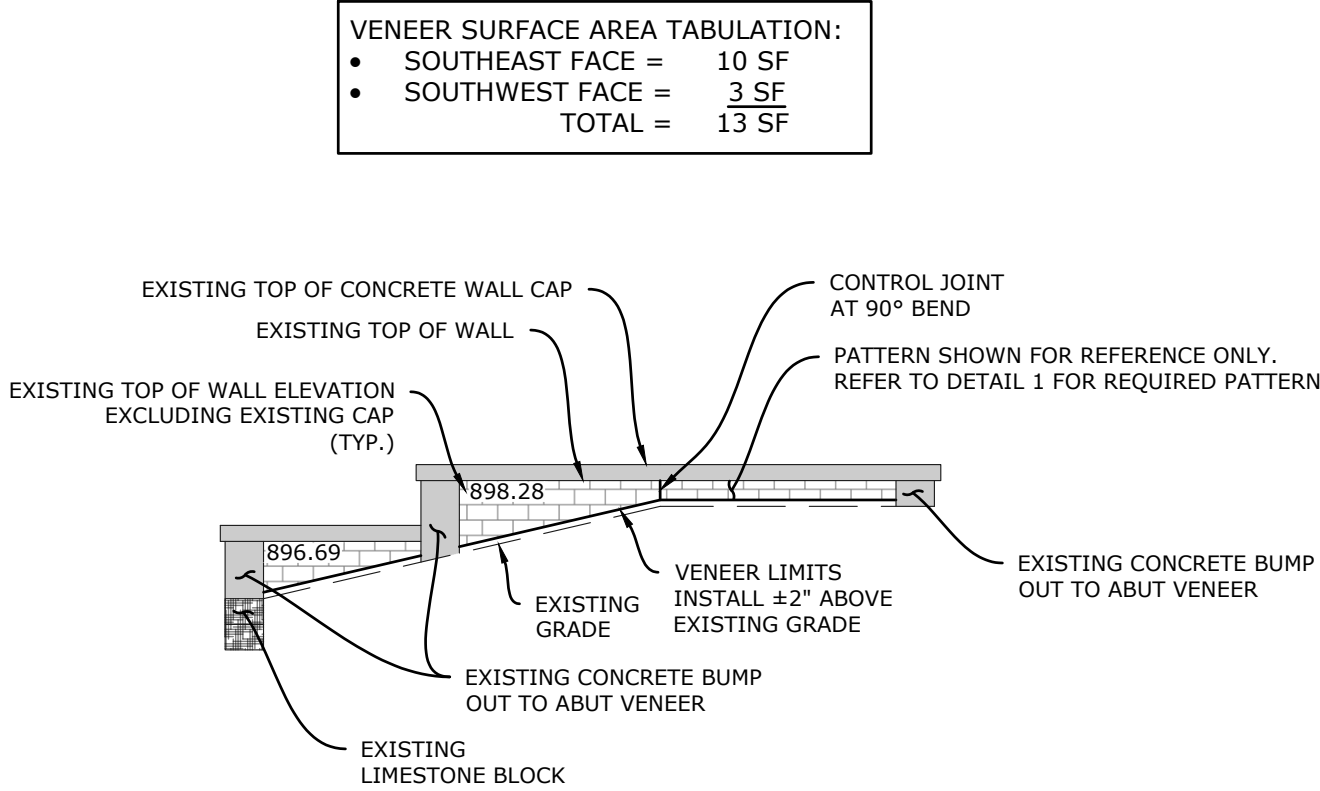


1 ANAMOSA LIMESTONE THIN VENEER  
RANDOM SPLITFACE WALL TREATMENT DETAIL  
(NOT TO SCALE)

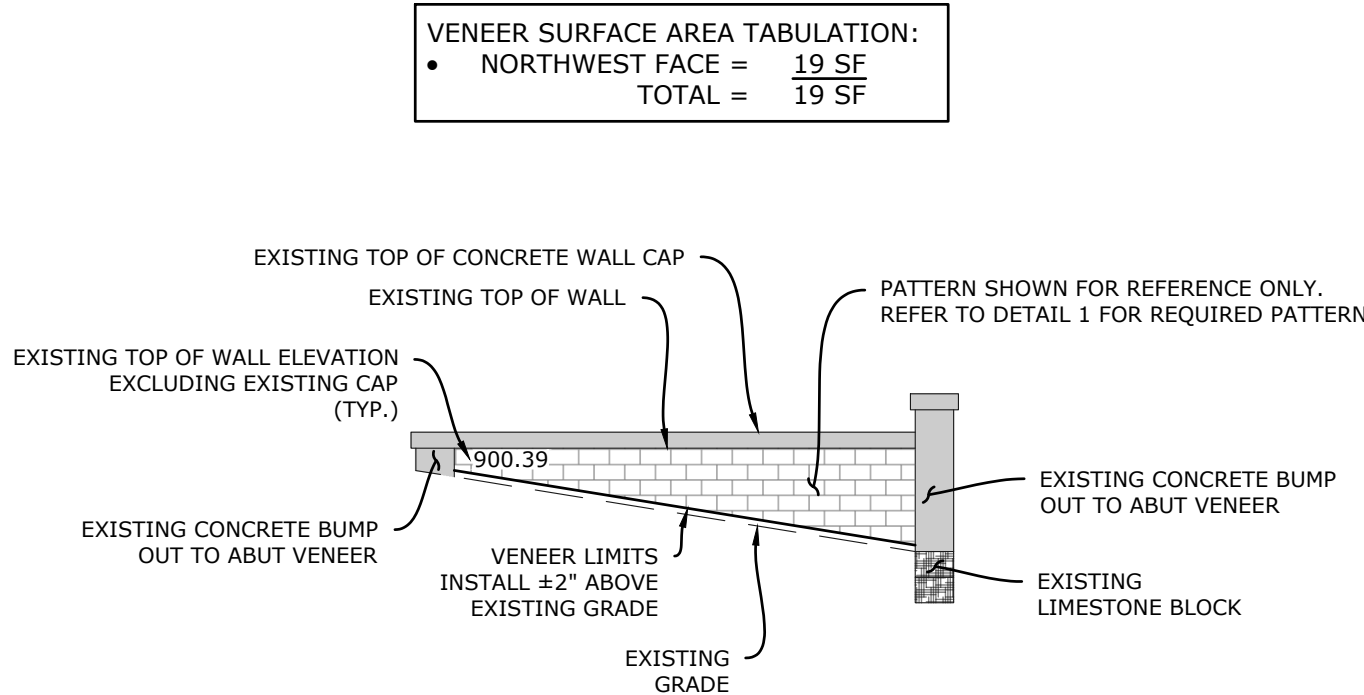


- NOTES:
- CLEAN WALL WITH ACID CLEANER PRIOR TO INSTALLATION OF VENEER.
  - DIMENSIONS OF STONE ARE GIVEN FOR REFERENCE. STONES SHALL BE OF APPROXIMATE SCALE AND PROPORTIONS SHOWN (8"± MAX. HGT). MORTAR JOINTS SHALL BE A NOMINAL DIMENSION OF  $\frac{3}{8}$ " TO  $\frac{1}{2}$ ".
  - CONTRACTOR SHALL DRY STACK A 5'x5' JOB-SITE MOCK-UP FOR OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION OF VENEER.
  - LIMESTONE BLOCK AND TOP OF WALL TO BE INSTALLED LEVEL. ADJUSTMENT OF MORTAR BED AND CUTTING OF BLOCK MAY BE NEEDED.
  - WALL ELEVATIONS AND STATIONING SHALL BE VERIFIED IN THE FIELD BASED ON EXISTING UTILITIES AND PROPOSED PAVING.

- LIMESTONE VENEER SHALL WRAP AROUND ENDS OF WALL. COORDINATE WITH WALL CAP CONTRACTOR TO ENSURE PROPER OVERHANG OF WALL CAP.
- GROUT SHALL BE BUFF COLOR. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO COMMENCING GROUT WORK.
- GROUT AND MORTAR TO BE TYPE 'N' MORTAR MIX.
- CONTRACTOR TO FOLLOW STANDARDS AND INSTALLATION OF VENEER AS OUTLINED IN INDIANA LIMESTONE THIN VENEER PROFESSIONAL INSTALLATION GUIDE FOUND HERE: <https://www.policor.com/wp-content/uploads/2023/03/Hardscapes-Indiana-limestone-thin-veneer-installation-guide.pdf>
- COORDINATE SITE MEETING WITH OWNER'S REPRESENTATIVE TO MARK VENEER LIMITS AND CONTROL JOINT LOCATIONS PRIOR TO COMMENCING VENEER APPLICATION. SOME OF THE CONTROL JOINTS SHOWN ON DETAIL 1 (WALL PROFILE DETAIL) OCCUR AT NATURAL WALL CRACK LOCATIONS.



3 EXISTING WALL PROFILE  
EAST OF STAIRS (PROPOSED VENEER)  
(NOT TO SCALE)



4 EXISTING WALL PROFILE  
UPPER PARKING LOT (PROPOSED VENEER)  
(NOT TO SCALE)

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WALL VENEER DETAILS	SHEET L1.2
PROJECT NO: 10902-2	