

PLANNING & ZONING COMMISSION

March 13, 2024

STAFF REPORT

Prepared by: Leigh Bradbury, City Planner

AGENDA ITEM: **Site Plan Review – Cottonwood Apartments**

Current Zoning: Base: Mixed-Use Development
 Overlay: US Hwy 30 Master Plan

Requested Action: Site plan review & possible recommendation to Council

Applicant / Owner: Community Housing Initiative (CHI)

Size: 3.06 acres

Location: Lot 1 of Stoner Plaza 10th Addition

Background Information: This parcel was acquired by Community Housing Initiative in 2023 for construction of 30-unit, age-restricted, low-to-moderate income (LMI) housing project. The developer has been awarded \$1.1 million in state HOME funds and \$675,000 in annual Low Income Housing Tax Credits (LIHTC) by the Iowa Finance Authority for this project. In addition, local LMI funding of \$395,000 has been pledged by City Council in provision of public improvements. Glenn Street will be extended eastward across the north side of this parcel, intersecting with a north/south arterial street stub to provide a connection to Business 30.

The packet includes elevations and site plans received 03/12/24, which contains updates to CHI's prior plan submittal dated 02/14/24. Changes are per a March 8th discussion with Axiom Consultants, City Engineer Dave Schechinger and myself. CHI would like to move forward with Council approval prior to April 1, 2024.

Analysis: Dave Schechinger will need to review the current submission. The following items were identified in my review of US Hwy 30 Master Plan design standards, as codified in Mount Vernon's Code of Ordinances Chapter 165 Zoning Regulations, Section 509 US30 – US Highway 30 Overlay District.

- HVAC/mechanical equipment – Not Noted
- Landscaping / Screening – Not Noted
- Lighting Wall Packs - prohibited

Action Required: Recommendation to City Council to 1) approve, 2) approve with modifications / conditions, or 3) disapprove the site plan.

Staff Recommendation:

Recommend approval of site plan, subject to the following modifications / conditions:

- 1) Provision of addendums addressing the following items per the US Hwy 30 Master Plan:
 - Notes on HVAC/mechanical equipment
 - Notes on Landscaping & Screening Plan
 - Exterior Lighting

- 2) Review and acknowledgement by City Engineer Dave Schechinger that the documents meet code.

Next Step: City Council may 1) approve, 2) approve with modifications / conditions, or 3) disapprove the site plan.

Community Housing Initiative's Cottonwood Trail



Figure 1 South Facing - Main entrance



Figure 2 East Facing - Street side view from N/S Collector

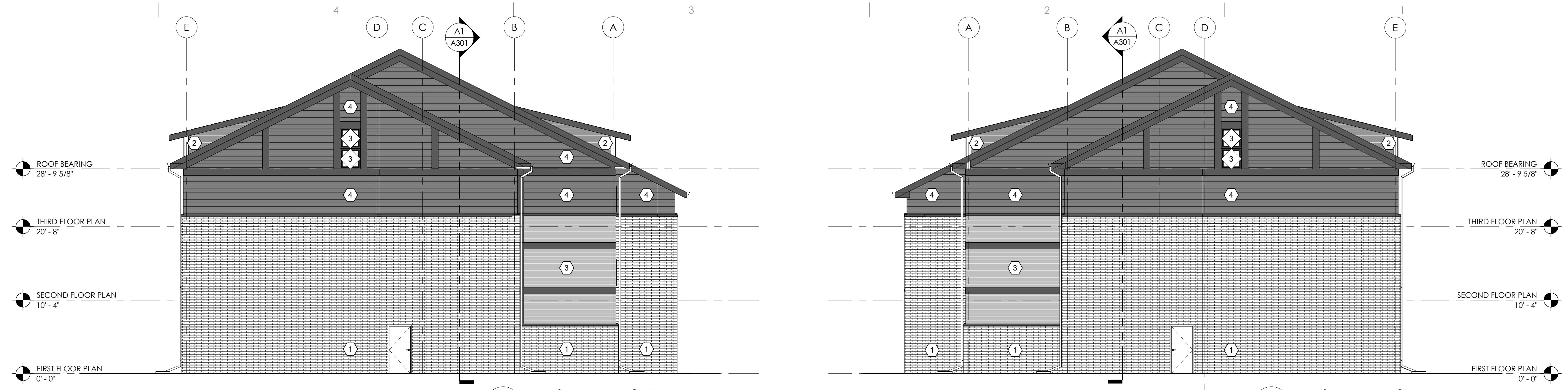


Figure 3 North Facing - Glenn Street



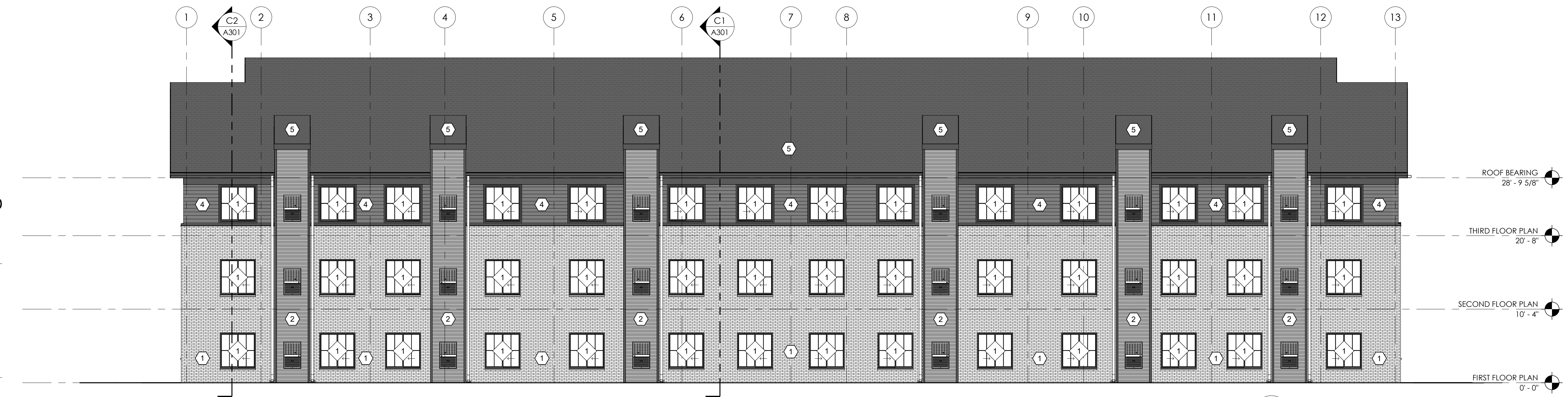
Figure 4 West-facing, towards outlet A & Koppenhaver & Assoc. PC

ARCHITECTS SCHIPPER KASTNER INTERIORS PLANNING



C2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

C1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



B1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION (SECONDARY FACADE)

MATERIALS:

- BRICK VENEER, FIRED CLAY (CLASS A)	1325 SF (53.2%)
- FIBER CEMENT BOARD SIDING (CLASS C)	1151 SF (46.2%)
- CLEAR GLASS (CLASS B)	17 SF (0.6%)
TOTAL	2492 SF (100%)

EAST ELEVATION (PRIMARY FACADE)

MATERIALS:

- BRICK VENEER, FIRED CLAY (CLASS A)	1325 SF (53.2%)
- FIBER CEMENT BOARD SIDING (CLASS C)	1151 SF (46.2%)
- CLEAR GLASS (CLASS B)	17 SF (0.6%)
TOTAL	2492 SF (100%)

NORTH ELEVATION (PRIMARY FACADE)

MATERIALS:

- BRICK VENEER, FIRED CLAY (CLASS A)	2457 SF (50%)
- FIBER CEMENT BOARD SIDING (CLASS C)	1404 SF (28.6%)
- CLEAR GLASS (CLASS B)	1050 SF (21.4%)
- ASPHALT SHINGLES (CLASS B)	
TOTAL	4911 SF (100%)

SOUTH ELEVATION (SECONDARY FACADE)

MATERIALS:

- BRICK VENEER, FIRED CLAY (CLASS A)	1179 SF (24.4%)
- FIBER CEMENT BOARD SIDING (CLASS C)	2691 SF (55.6%)
- CLEAR GLASS (CLASS B)	968 SF (20%)
- ASPHALT SHINGLES (CLASS B)	
TOTAL	4838 SF (100%)

ELEVATION MATERIAL KEY

- 1 BRICK VENEER, FIRED CLAY (LIGHT GRAY)
- 2 FIBER CEMENT BOARD SIDING - COLOR A (DARK BLUE)
- 3 FIBER CEMENT BOARD SIDING - COLOR B (LIGHT BLUE-GRAY)
- 4 FIBER CEMENT BOARD SIDING - COLOR C (BLUE-GRAY)
- 5 ASPHALT SHINGLES - (BLACK)
- CLEAR GLASS - (WINDOWS & STOREFRONT)

LEGEND: UTILITIES, EXISTING, PROPOSED, SITE, etc.

SITE PREPARATION NOTES

- 1. PROTECT ADJACENT PROPERTY DURING DEMOLITION, IF APPLICABLE.
2. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
3. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL...

EXISTING FIELD TILE LINES ENCOUNTERED IN THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR IN ONE OF THE FOLLOWING WAYS:
A. CONNECT TILE TO THE NEAREST STORM SEWER.
B. DAYLIGHT TO FINISHED GROUND.
C. REPAIR TILE AND MAINTAIN SERVICE.

PAVEMENT GENERAL NOTES

- 1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE.
3. REMOVE AND REPLACE OR RESTORE ALL STREET SIGNS, PAVEMENT MARKINGS...

PCC PAVEMENT NOTES

- 1. PARKING AND STREET PCC PAVING THICKNESS SHALL BE 6-INCH ON 6-INCH GRANULAR SUBBASE, UNLESS STATED OTHERWISE.
2. MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS...
3. MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI.

GENERAL UTILITY NOTES

- 1. VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.

SURFACE RESTORATION NOTES

- 1. ALL DISTURBED AREA WILL BE REPLACED WITH PAVEMENT OR BUILDING. ANY GRASSED AREA DISTURBED TO BE SEEDED PER SUDAS SECTION 9010.

EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL, SEDIMENT, AND DUST CONTROL IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN...
2. THE CONTRACTOR SHALL INCORPORATE ALL NECESSARY EROSION CONTROL FEATURES INTO THE PROJECT PRIOR TO DISTURBING THE SOIL.

GRADING NOTES

- 1. PROOF ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED.
2. REMOVE AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO MEET SPECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT.

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
2. THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD.

COTTONWOOD APARTMENTS, MT VERNON, IOWA, ASK STUDIO, LEGEND & GENERAL NOTES, C0.01

WATER MAIN NOTES (SUDAS):

1. WATER LINES SHALL BE CONSTRUCTED PER SUDAS SPECIFICATIONS, 2022 EDITION.
2. WATER LINES SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS PER SUDAS SECTION 5010:

PIPE MATERIAL	BEDDING CLASS
PVC AWWA C900	P-1
JOINTS AND FITTING	BEDDING CLASS
MECHANICALLY RESTRAINED DUCTILE IRON	P-1
3. ALL WATER MAINS AND SERVICE LINES SHALL BE INSTALLED WITH TRACER WIRE
4. WATER MAIN FITTINGS SHALL BE MECHANICAL JOINTS . MEGALUG 2000PV FOR PVC PIPE.
5. CONCRETE THRUST BLOCKS COMPLYING WITH SUDAS FIGURE 5010.101 SHALL BE USED FOR PIPE SIZES SIXTEEN INCHES AND SMALLER AND ARE REQUIRED AT ALL HYDRANTS, BENDS, VALVES, CROSSES, AND TEES.
6. CURB STOPS SHALL BE LOCATED AS INDICATED ON THE PLANS. MAINTAIN 36" HORIZONTAL SEPARATION BETWEEN SEWER AND WATER SERVICES. THE ENDS OF WATER SERVICES SHALL BE MARKED WITH A 2X4 POSTS PAINTED BLUE.
7. CONTRACTOR MAY DEFLECT WATER MAIN PER MANUFACTURER'S SPECIFICATIONS FOR HORIZONTAL DEFLECTION. PIPE DEFLECTION IS NOT ALLOWED FOR VERTICAL DEFLECTIONS.
8. THE APPROVING AUTHORITY SHALL OPERATE ALL EXISTING SYSTEM VALVES AND THE CONTRACTOR AND CITY SHALL COORDINATE ANY SHUT DOWNS TO THE EXISTING SYSTEM. THE CONTRACTOR SHALL MAKE ACCOMMODATIONS IN THE SCHEDULE TO ALLOW FOR ADEQUATE PUBLIC NOTICE AS REQUIRED BY THE APPROVING AUTHORITY.
9. CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE WITH THE APPROVING AUTHORITY. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE APPROVING AUTHORITY FOR ANY VARIANCE FROM THE APPROVED PLAN.
10. ALL TAPS FOUR INCHES AND LARGER SHALL BE "LIVE' TAPS USING AN APPROVED TAPPING SLEEVE AND VALVE, UNLESS NOTED OTHERWISE. THE APPROVING AUTHORITY SHALL WITNESS AND/OR PERFORM ALL TAPS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND ARRANGING ON SITE INSPECTION OF WATER MAIN INSTALLATION WITH THE APPROVING AUTHORITY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING AND RELATED COSTS INCLUDING, BUT NOT LIMITED TO, FILLING AND FLUSHING NEW MAINS, AND ALL REQUIRED SAMPLING. DISPOSAL OF HIGHLY CHLORINATED WATER SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REGULATIONS. ALL TESTING TO COMPLY WITH THE REQUIREMENTS OF SUDAS SECTION 5030. ALL INSPECTION AND TESTING COSTS ARE INCIDENTAL TO THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
13. THE MINIMUM DEPTH OF BURY FOR ALL WATER MAINS AND WATER SERVICES IS FIVE FEET SIX INCHES (5' - 6"), MEASURED FROM FINAL GRADE TO TOP OF WATER MAIN PIPE, UNLESS NOTED OTHERWISE.



COTTONWOOD APARTMENTS
 MT VERNON, IOWA
 ASK

ISSUED FOR

PROGRESS SET

DATE	02-14-24
------	----------

DESCRIPTION	DATE

DESIGNED BY	NJB
-------------	-----

DETAILED BY	AEW
-------------	-----

CHECKED BY	NJB
------------	-----

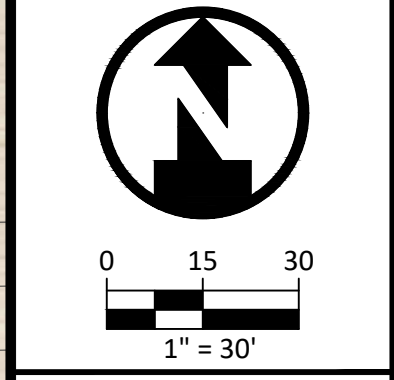
PROJECT NO.	23-0156
-------------	---------

SHEET NAME	
------------	--

GENERAL NOTES

C0.02

NOT FOR CONSTRUCTION



COTTONWOOD APARTMENTS
 MT VERNON, IOWA
 ASK

ISSUED FOR
 PROGRESS SET

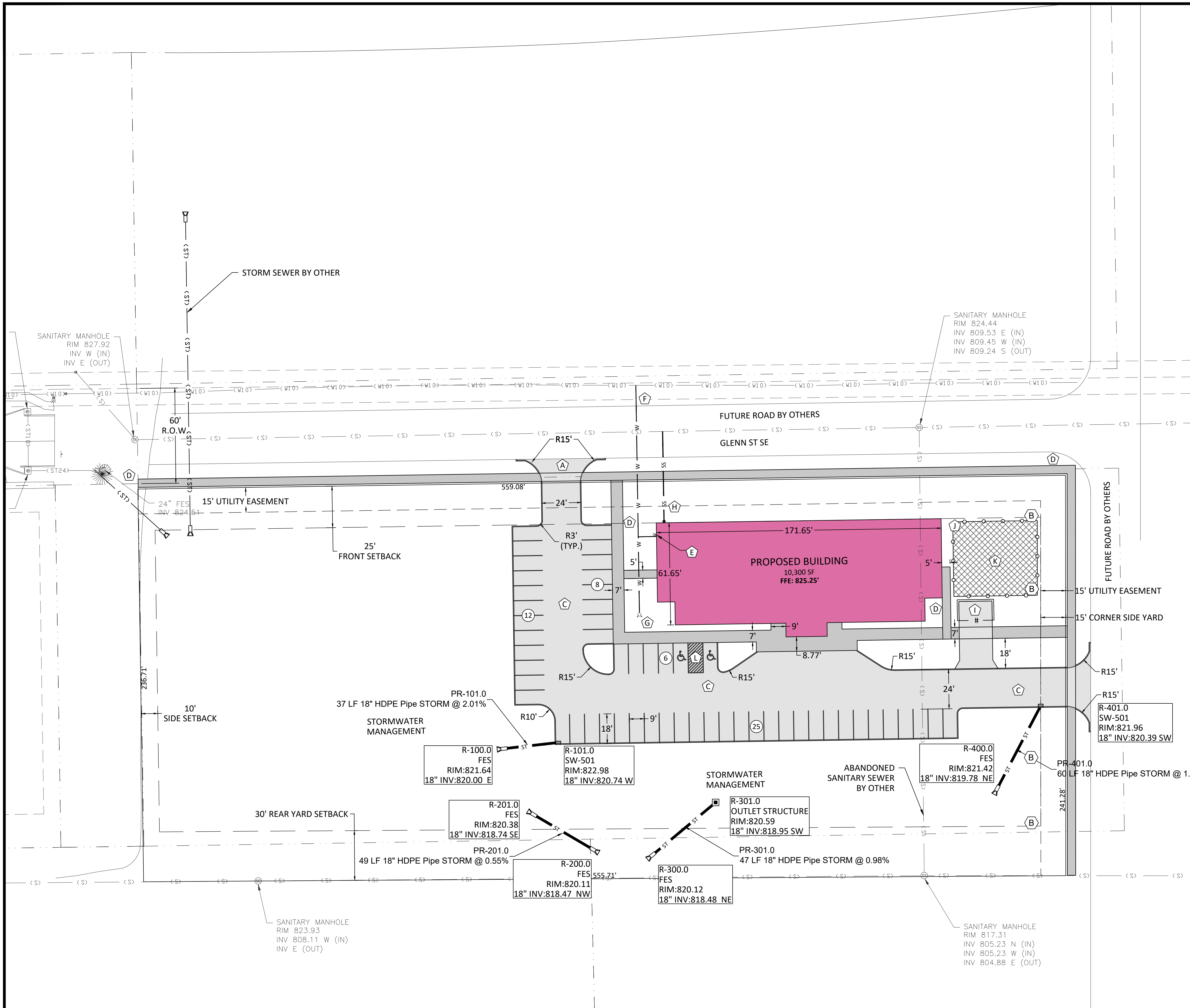
DATE	02-14-24
DESCRIPTION	DATE

DESIGNED BY	NJB
DETAILED BY	AEW
CHECKED BY	NJB
PROJECT NO.	23-0156
SHEET NAME	

EXISTING CONDITIONS

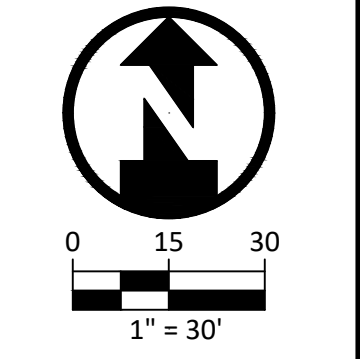
C1.00

NOT FOR CONSTRUCTION



SITE PLAN KEYNOTES:

- (A) PROPOSED PCC DRIVEWAY PER SUDAS 7030.103 & SUDAS TYPE A DETAIL A 7030.101 DRIVEWAY CONSTRUCTION.
- (B) PROPOSED 4' BERM BY OTHERS.
- (C) PROPOSED HEAVY DUTY PAVEMENT. SEE SHEET C4.00 DETAIL #1.
- (D) PROPOSED PCC SIDEWALK PAVEMENT. SEE SHEET C4.00 DETAIL #2.
- (E) FDC LOCATION
- (F) PROPOSED 135 LF 6" PVC WATER SERVICE. LIVE TAP WITH TAPPING SADDLE AND SLEEVE. INSTALL CURB STOP 1' BEHIND PROPOSED SIDEWALK. CONTRACTOR TO COORDINATE CONNECTION WITH CITY.
- (G) PROPOSED FIRE HYDRANT ASSEMBLY.
- (H) PROPOSED 53 LF 6" PVC SANITARY SERVICE WITH CLEANOUT. CONTRACTOR TO COORDINATE CONNECTION WITH CITY.
- (I) DUMPSTER ENCLOSURE WITH 7" CONCRETE PAD WITH SOLID WOOD FENCE AND GATES.
- (J) ELECTRIC TRANSFORMER. SEE ELECTRICAL PLAN.
- (K) DOG PLAY AREA. MIN. 4-FT CHAINLINK FENCE ENCLOSURE.
- (L) ADA STALLS. VAN ACCESSIBLE MIN. 13'x18' (INCLUDES GORE AREA). REGULAR ADA STALL 8'x18' MIN.



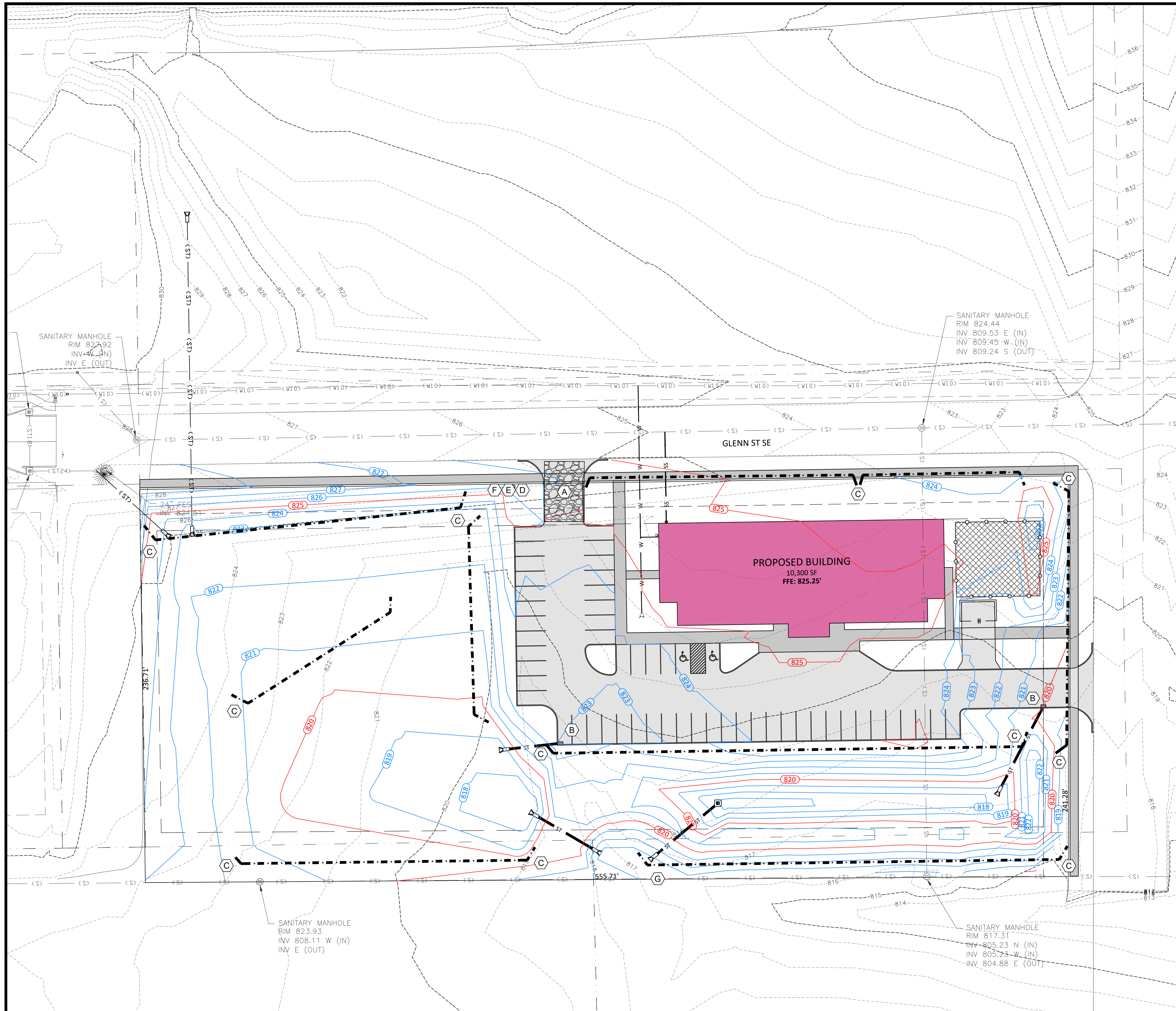
COTTONWOOD APARTMENTS
MT VERNON, IOWA
ASK

ISSUED FOR	
PROGRESS SET	
DATE	02-14-24
DESCRIPTION	DATE
DESIGNED BY	NJB
DETAILED BY	AEW
CHECKED BY	NJB
PROJECT NO.	23-0156
SHEET NAME	

OVERALL SITE & UTILITY PLAN

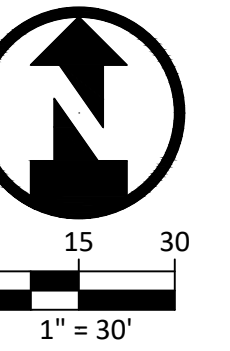
C2.00

NOT FOR CONSTRUCTION



GRADING & EROSION CONTROL KEYNOTES:

- A STABILIZED CONSTRUCTION ENTRANCE
- B INLET PROTECTION
- C SILT FENCE / FILTER SOCK
- D CONCRETE WASHOUT AREA
- E TEMPORARY SANITATION FACILITY
- F DUMPSTER / TRASH CONTAINER
- G MAINTAIN EXISTING VEGETATION WHERE POSSIBLE TO LIMIT EROSION POTENTIAL



NOTES:

- ALL MEASURES SHALL MEET SUDAS SPECIFICATIONS.
- ITEMS ARE SHOWN IN RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A SUITABLE LOCATION, INDICATE THE REVISION ON THE SITE GRADING AND EROSION CONTROL PLAN. THE ADDITIONAL PRACTICES FOR EROSION PREVENTIONS AND SEDIMENT CONTROL CAN BE FOUND IN THE SWPPP.

STORMWATER POLLUTION PREVENTION

SITE AREA: THE SITE IS APPROXIMATELY 3.06 ACRES OF WHICH 3.06 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

DISTURBED AREA IS GREATER THAN 1.00 ACRE, GENERAL PERMIT 2 (GP2) IS REQUIRED.

THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES FROM THE DATE CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION. THE CONTRACTOR SHALL MAINTAIN THE SWPPP PER THE REQUIREMENTS OF GENERAL PERMIT NO. 2. ALL OPERATORS/CONTRACTORS WORKING ONSITE MUST SIGN THE CERTIFICATION STATEMENT PROVIDED AND WILL BECOME CO-PERMITTEES ON THE NPDES GENERAL PERMIT NO. 2 FOR THIS SITE. ALL OPERATORS/SUBCONTRACTORS WORKING ONSITE SHALL BE SUPPLIED A COPY OF THE SWPPP BY THE CONTRACTOR AND MUST BE FAMILIAR WITH ITS CONTENTS. THE SWPPP MUST BE PERIODICALLY UPDATED TO SHOW CURRENT EROSION CONTROL PRACTICES PER THE REQUIREMENTS OF THE GENERAL PERMIT #2. UPDATED VERSIONS OF THE SWPPP WILL BE PROVIDED TO ALL OF THE OPERATORS/SUBCONTRACTORS WHOM ARE AFFECTED BY THE CHANGES MADE TO THE SWPPP. IT WILL BE THE DUTY OF THE CONTRACTOR TO SEE THAT THESE REQUIREMENTS ARE MET.

COTTONWOOD APARTMENTS

MT VERNON, IOWA

ASK

ISSUED FOR

PROGRESS SET

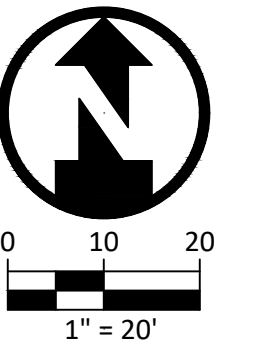
DATE	02-14-24
DESCRIPTION	DATE

DESIGNED BY	NJB
DETAILED BY	AEW
CHECKED BY	NJB
PROJECT NO.	23-0156
SHEET NAME	

GRADING & EROSION CONTROL PLAN

C3.00

NOT FOR CONSTRUCTION



COTTONWOOD APARTMENTS

MT VERNON, IOWA

ASK

ISSUED FOR

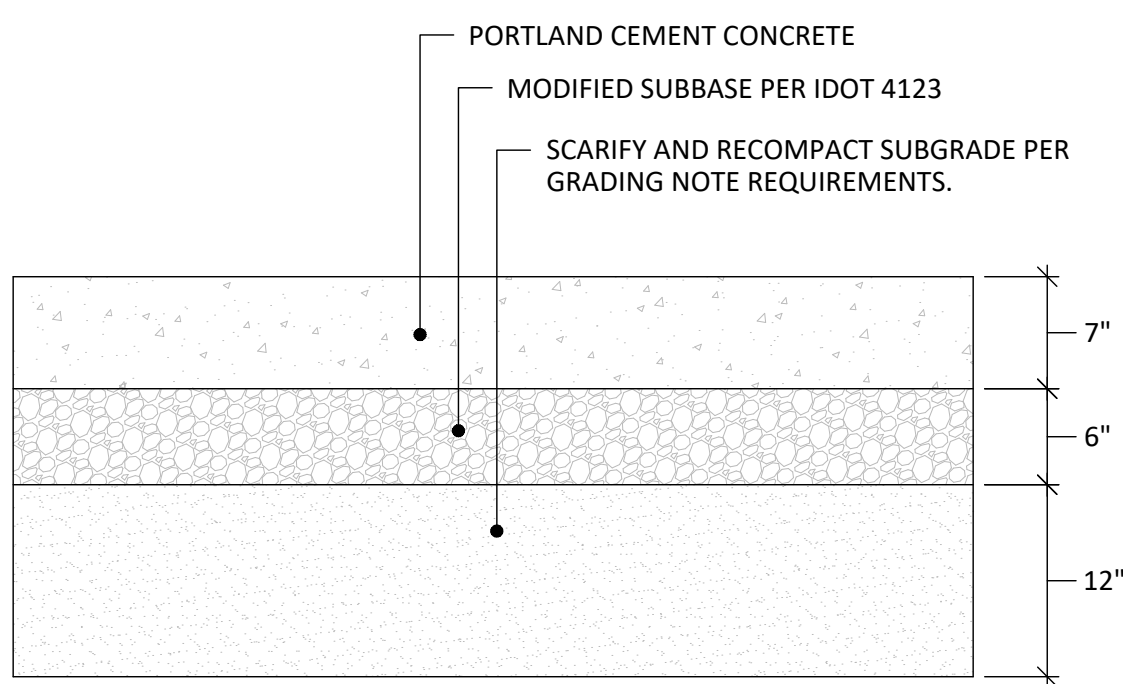
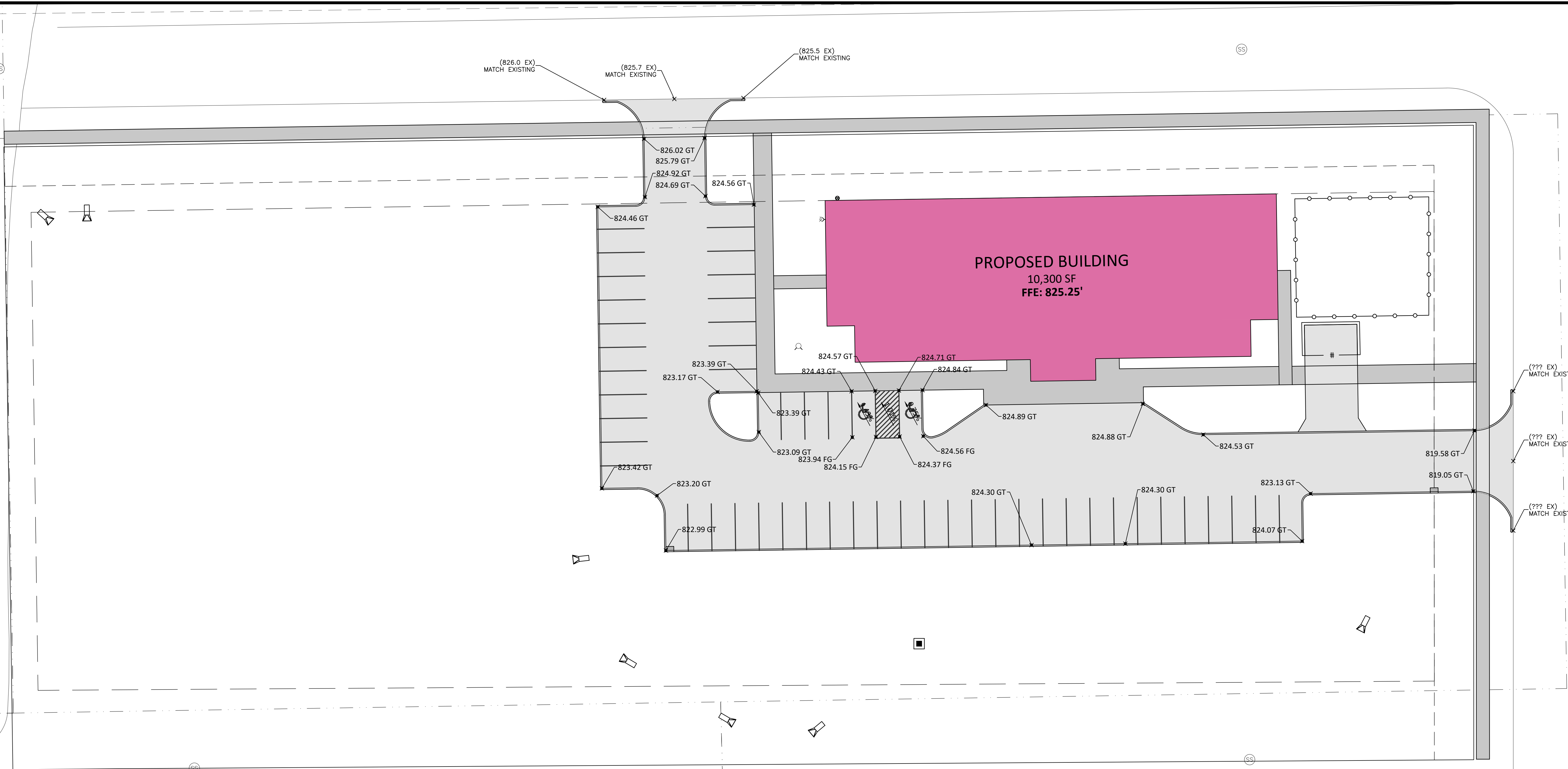
PROGRESS SET

DATE	02-14-24
DESCRIPTION	DATE

DESIGNED BY	NJB
DETAILED BY	AEW
CHECKED BY	NJB
PROJECT NO.	23-0156
SHEET NAME	

PAVEMENT PLAN

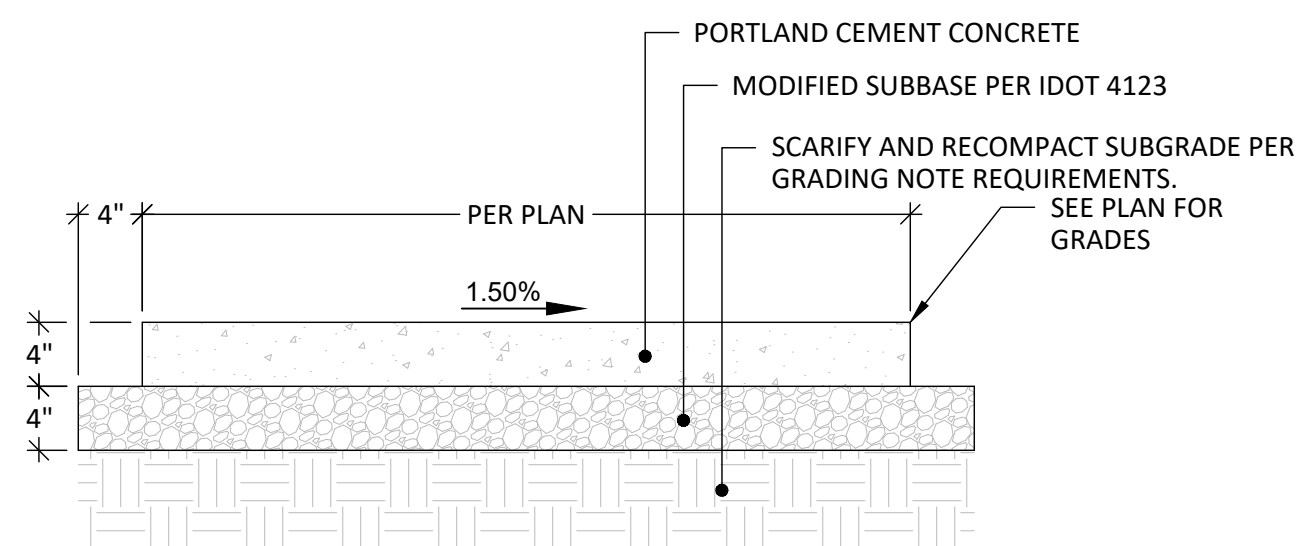
C4.00



HEAVY DUTY PAVEMENT SECTION

NOT TO SCALE

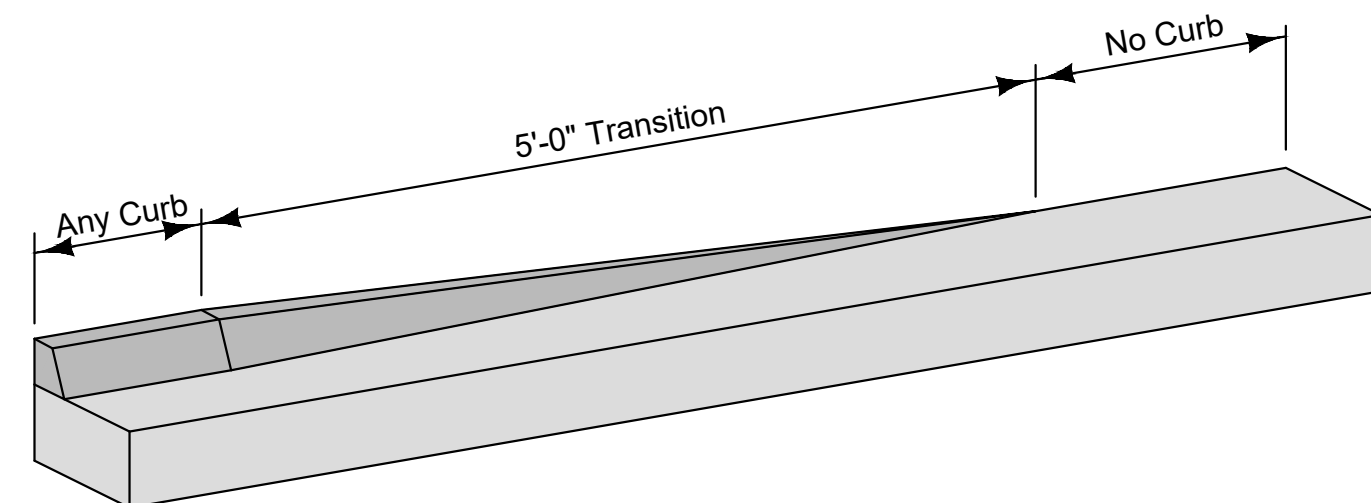
1



TYPICAL SIDEWALK

NOT TO SCALE

2



CURB RUNOUT DETAIL PER SUDAS 7010.102

NOT TO SCALE

3

GENERAL NOTES:

1. JOINTING PLAN TO BE SUBMITTED BY PAVING CONTRACTOR FOR ENGINEER REVIEW PRIOR TO PLACEMENT.
2. SEE SUDAS SECTION 7010 FOR ADDITIONAL CONCRETE PAVING REQUIREMENTS
3. ASSUME STANDARD 6" CURB UNLESS NOTED OTHERWISE.
4. RUNOUT CURB PER DETAIL 3 ON EITHER SIDES OF PROPOSED SIDEWALK RAMPS.

GT = GUTTER
 TC = TOP OF CURB
 EX = EXISTING GRADE
 FG = FINISHED GRADE
 RW = TOP OF RETAINING WALL

NOT FOR CONSTRUCTION

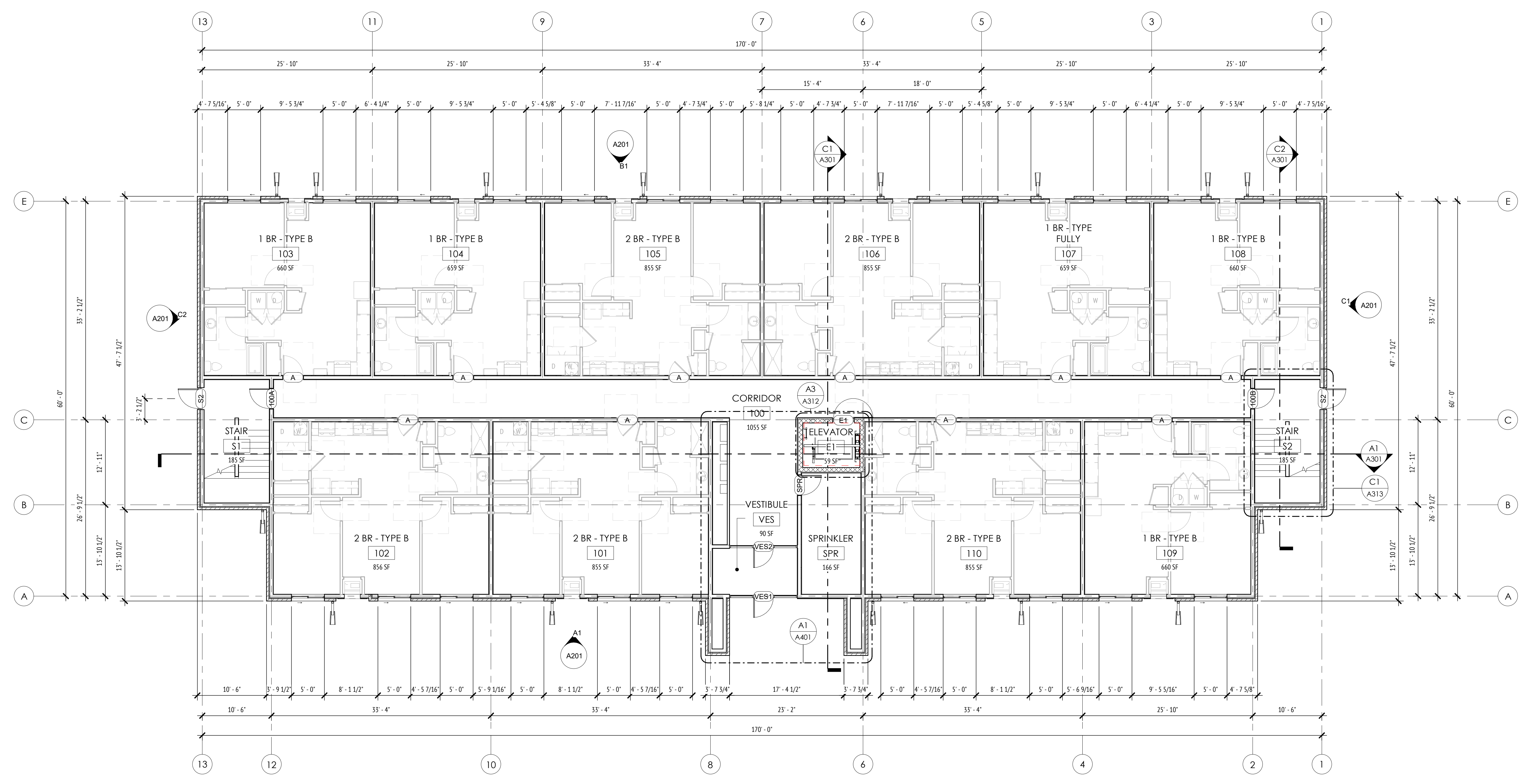
COTTONWOOD APARTMENTS
COMMUNITY HOUSING INITIATIVES

MT VERNON, IOWA

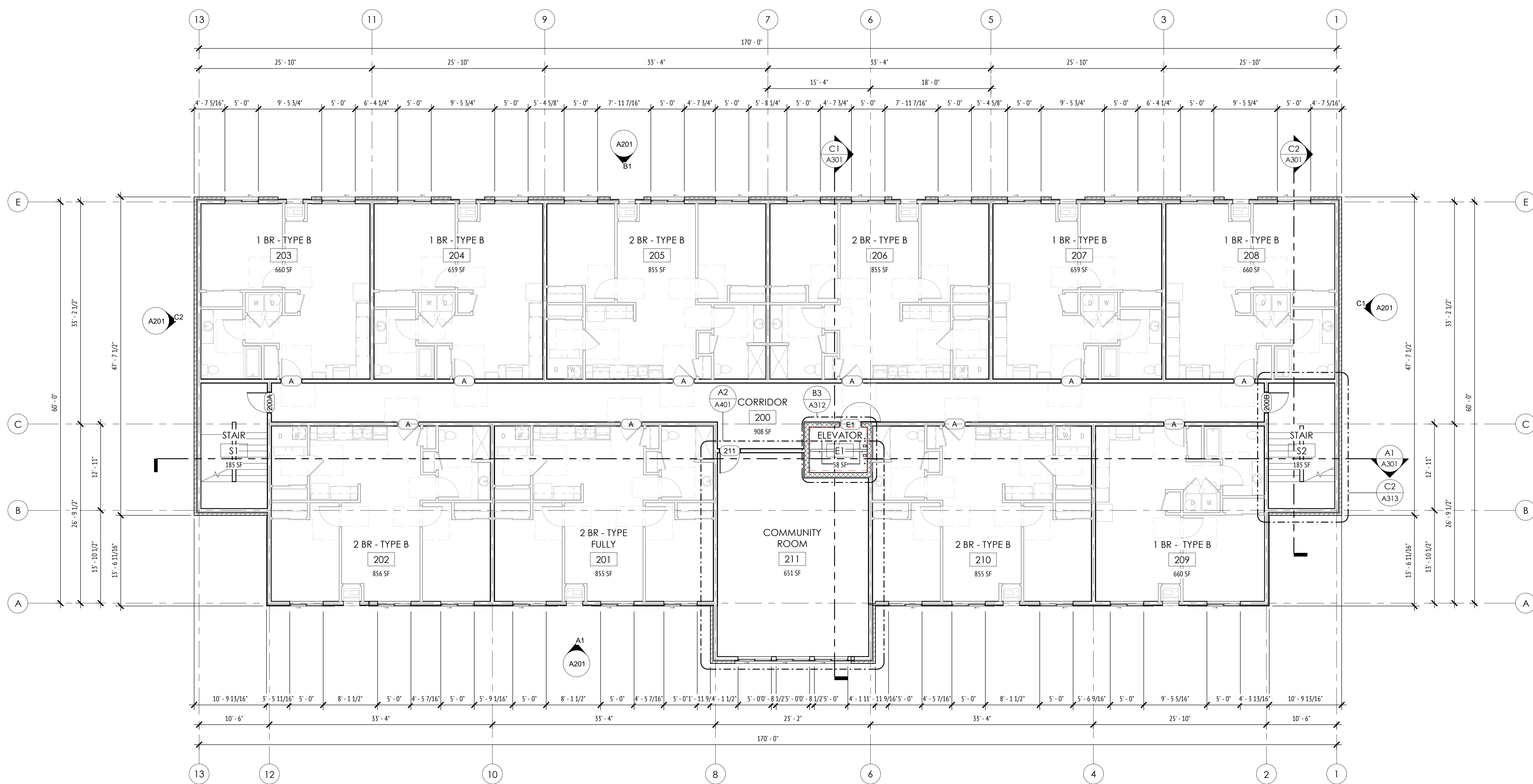
ISSUE DATE:
02.27.2024
REVISIONS:

FIRST FLOOR PLAN

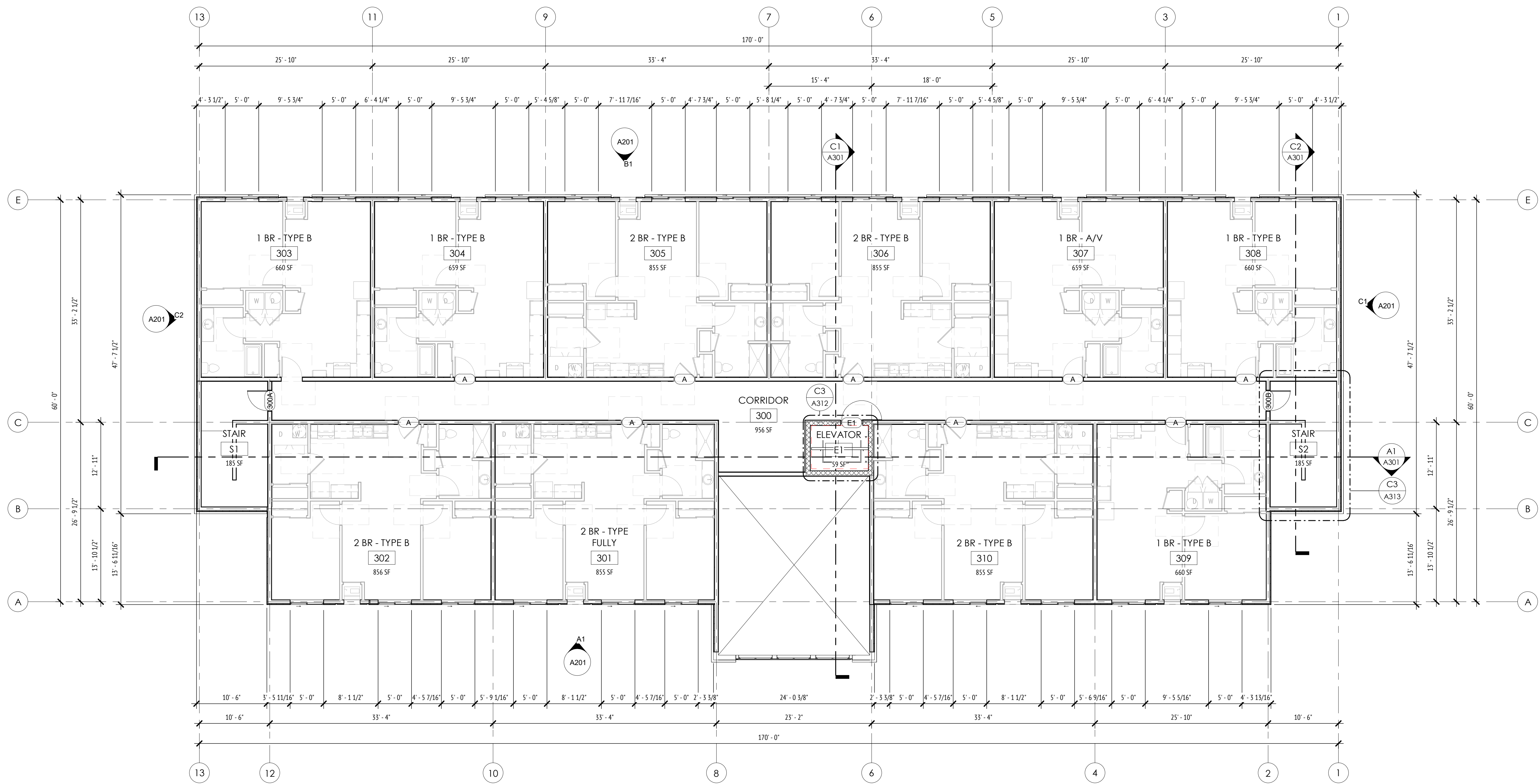
A101
PROJECT 0000



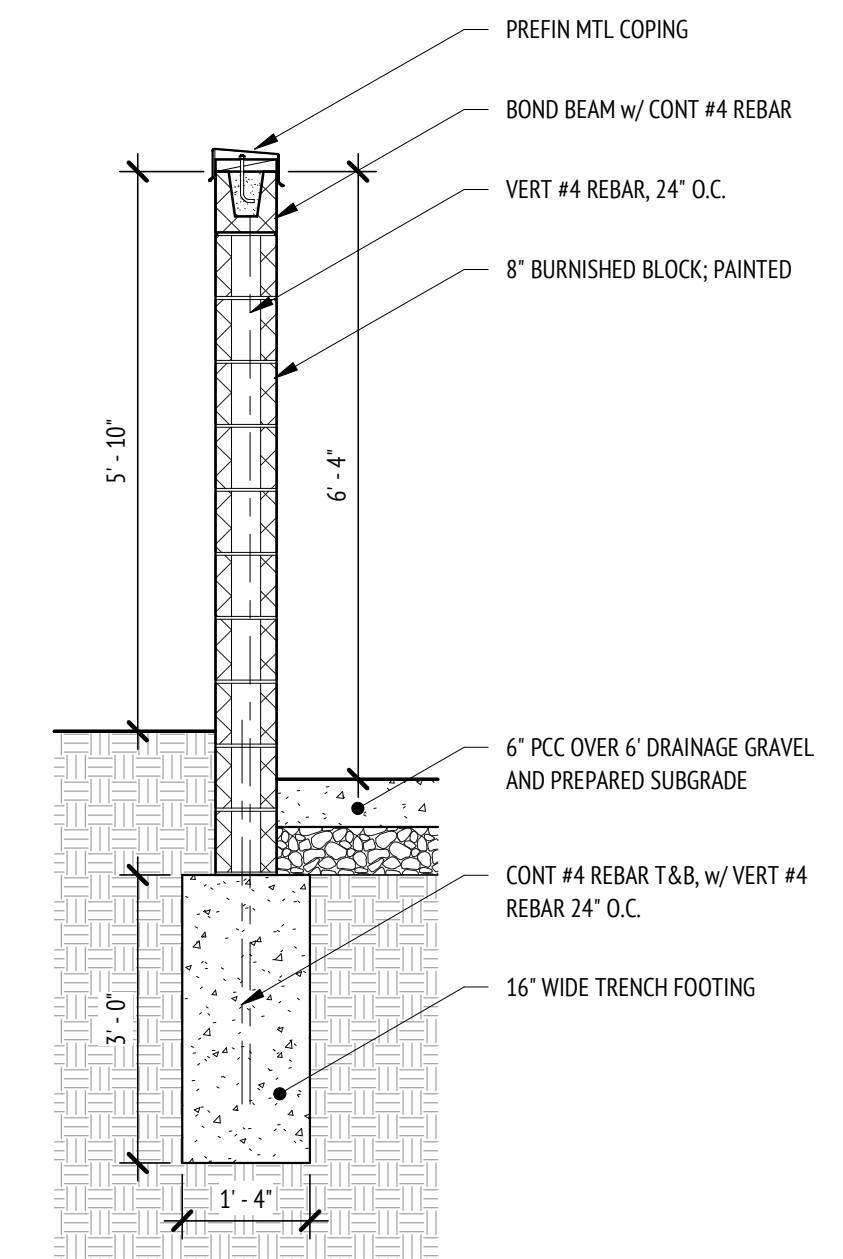
A1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



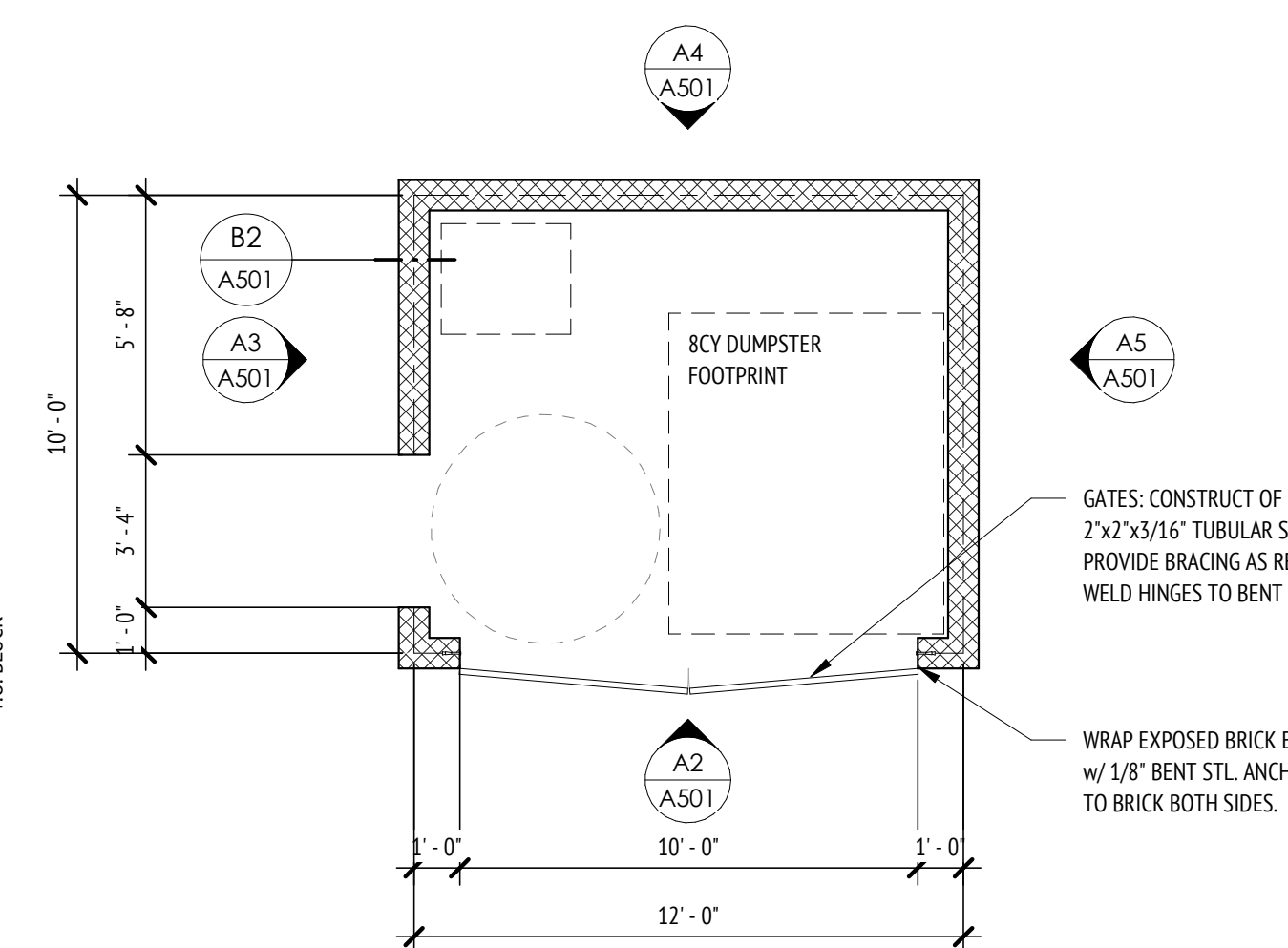
A1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



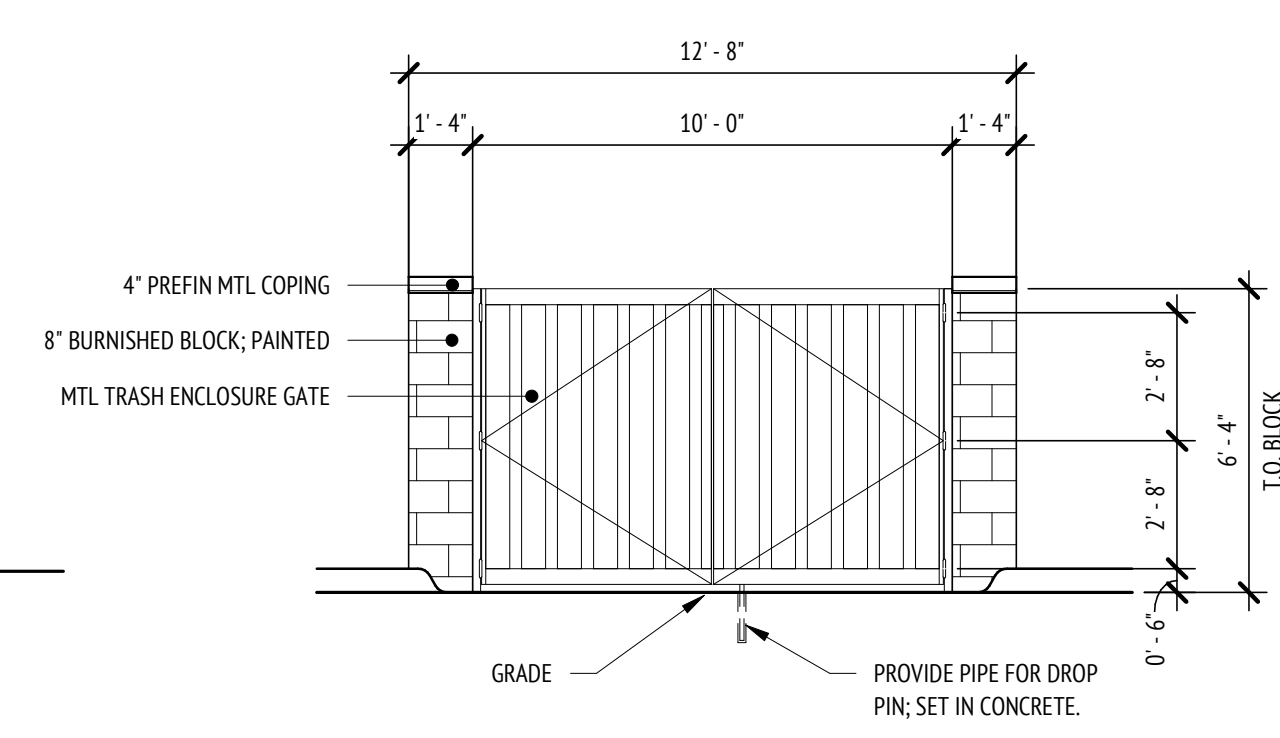
A1 THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



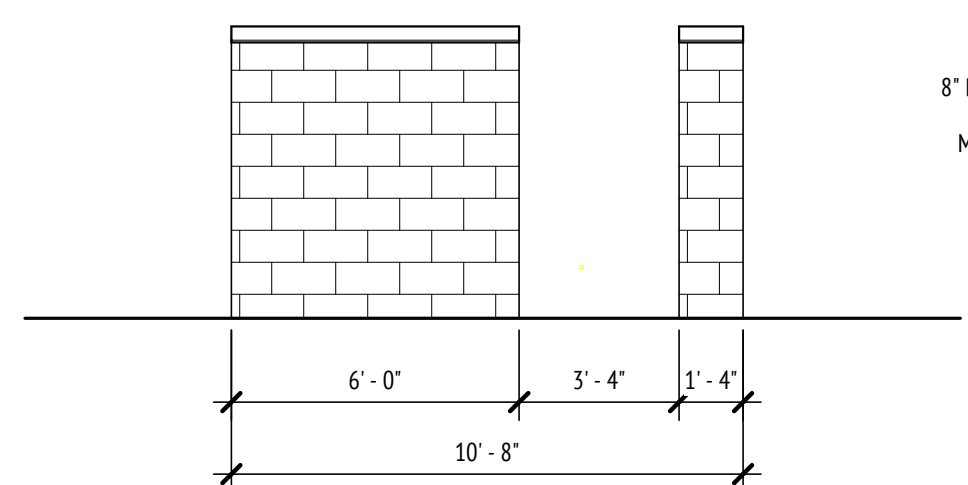
B2 DUMPSTER ENCLOSURE SECTION
SCALE: 1/2" = 1'-0" A1 / A501



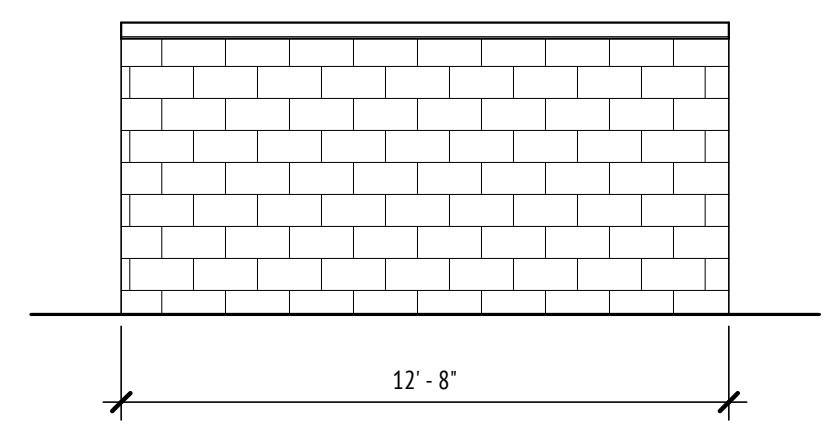
A1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



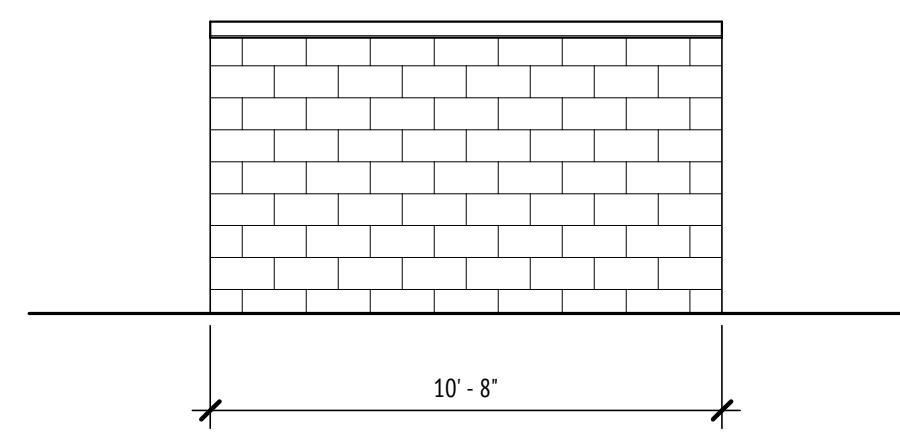
A2 DUMPSTER SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



A3 DUMPSTER WEST ELEVATION
SCALE: 1/4" = 1'-0"



A4 DUMPSTER NORTH ELEVATION
SCALE: 1/4" = 1'-0"



A5 DUMPSTER EAST ELEVATION
SCALE: 1/4" = 1'-0"