PLANNING & ZONING COMMISSION March 13, 2024 STAFF REPORT

Prepared by: Leigh Bradbury, City Planner

AGENDA ITEM:	Site Plan Review – Cottonwood Apartments
Current Zoning:	Base: Mixed-Use Development
	Overlay: US Hwy 30 Master Plan
Requested Action:	Site plan review & possible recommendation to Council
Applicant / Owner:	Community Housing Initiative (CHI)
Size:	3.06 acres
Location:	Lot 1 of Stoner Plaza 10 th Addition

Background Information: This parcel was acquired by Community Housing Initiative in 2023 for construction of 30-unit, age-restricted, low-to-moderate income (LMI) housing project. The developer has been awarded \$1.1 million in state HOME funds and \$675,000 in annual Low Income Housing Tax Credits (LIHTC) by the Iowa Finance Authority for this project. In addition, local LMI funding of \$395,000 has been pledged by City Council in provision of public improvements. Glenn Street will be extended eastward across the north side of this parcel, intersecting with a north/south arterial street stub to provide a connection to Business 30.

The packet includes elevations and site plans received 03/12/24, which contains updates to CHI's prior plan submittal dated 02/14/24. Changes are per a March 8th discussion with Axiom Consultants, City Engineer Dave Schechinger and myself. CHI would like to move forward with Council approval prior to April 1, 2024.

Analysis: Dave Schechinger will need to review the current submission. The following items were identified in my review of US Hwy 30 Master Plan design standards, as codified in Mount Vernon's Code of Ordinances Chapter 165 Zoning Regulations, Section 509 US30 – US Highway 30 Overlay District.

- HVAC/mechanical equipment Not Noted
- Landscaping / Screening Not Noted
- Lighting Wall Packs prohibited

Action Required: Recommendation to City Council to 1) approve, 2) approve with modifications / conditions, or 3) disapprove the site plan.

Staff Recommendation:

Recommend approval of site plan, subject to the following modifications / conditions:

- 1) Provision of addendums addressing the following items per the US Hwy 30 Master Plan:
 - Notes on HVAC/mechanical equipment
 - Notes on Landscaping & Screening Plan
 - Exterior Lighting
- 2) Review and acknowledgement by City Engineer Dave Schechinger that the documents meet code.

Next Step: City Council may 1) approve, 2) approve with modifications / conditions, or 3) disapprove the site plan.

Community Housing Initiative's Cottonwood Trail



Figure 1 South Facing - Main entrance



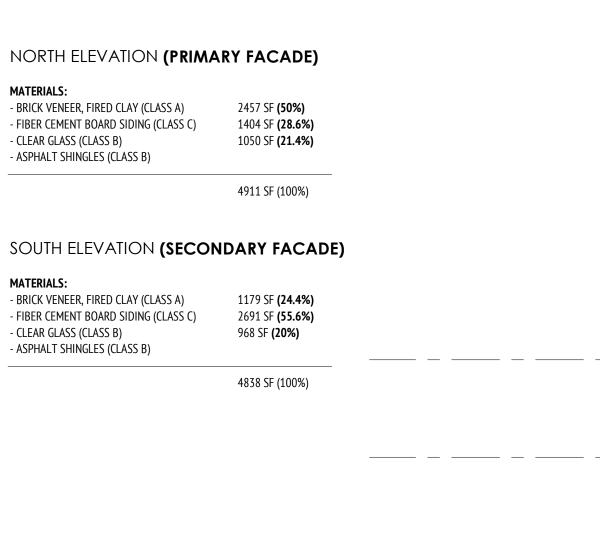
Figure 2 East Facing - Street side view from N/S Collector



Figure 3 North Facing - Glenn Street



Figure 4 West-facing, towards outlot A & Koppenhaver & Assoc. PC



ELEVATION MATERIAL KEY

- BRICK VENEER, FIRED CLAY (LIGHT GRAY) $\langle 1 \rangle$
- FIBER CEMENT BOARD SIDING COLOR A (DARK BLUE)
- FIBER CEMENT BOARD SIDING COLOR B (LIGHT BLUE-GRAY)
- FIBER CEMENT BOARD SIDING COLOR C (BLUE-GRAY)
- ASPHALT SHINGLES (BLACK) $\langle 5 \rangle$
- CLEAR GLASS (WINDOWS & STOREFRONT)





MATERIALS

MATERIALS:

MATERIALS:

- CLEAR GLASS (CLASS B)

- CLEAR GLASS (CLASS B)

- BRICK VENEER, FIRED CLAY (CLASS A)

- BRICK VENEER, FIRED CLAY (CLASS A)

- FIBER CEMENT BOARD SIDING (CLASS C)

- FIBER CEMENT BOARD SIDING (CLASS C)

 \square

WEST ELEVATION (SECONDARY FACADE)

EAST ELEVATION (PRIMARY FACADE)

FIRST FLOOR PLAN

1325 SF **(53.2%)**

1151 SF **(46.2%)**

2492 SF (100%)

1325 SF **(53.2%)**

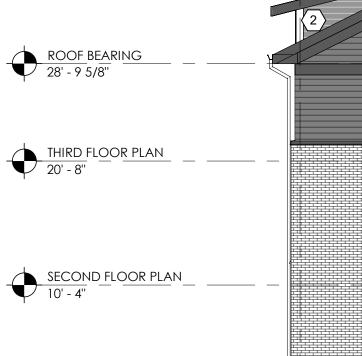
1151 SF **(46.2%)**

2492 SF (100%)

17 SF **(0.6%)**

17 SF **(0.6%)**

5





5



ASK



A201

PROJECT 23029

DRAWINGS FOR PROPOSED IMPROVEMENTS COTTONWOOD APARTMENTS IN THE CITY OF MOUNT VERNON, LINN COUNTY, IOWA

LEGAL DESCRIPTION

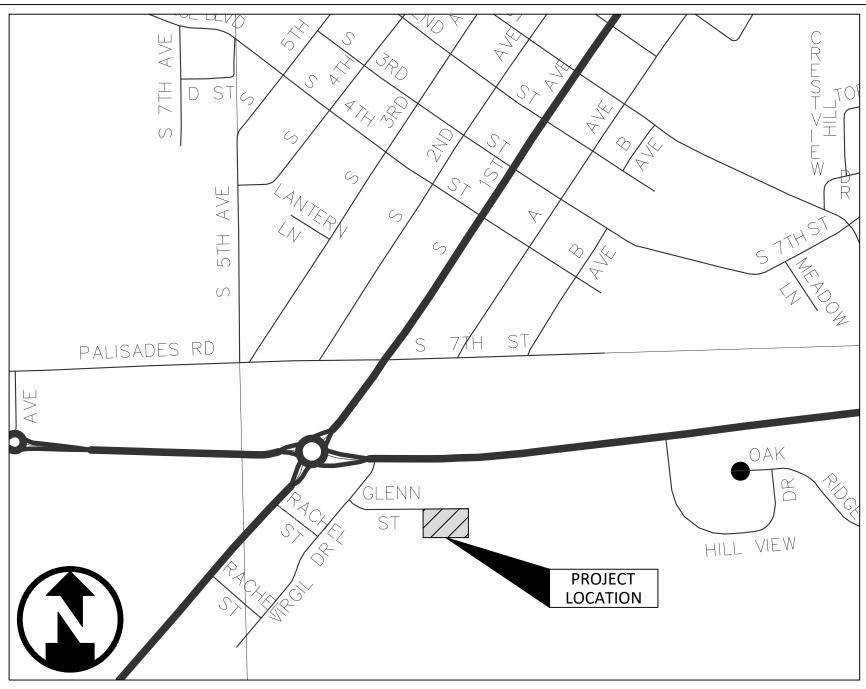
LOT 1 OF STONER PLAZA TENTH ADDITION TO THE CITY OF MT. VERNON, LINN COUNTY, IOWA AS RECORDED IN BOOK 11522, PAGE 44488 OF THE LINN COUNTY RECORDER'S OFFICE.

NOTE:

IGURE	TITLE
8010.102	RIGID GRAVITY PIPE TRENCH BEDDING
010.103	FLEXIBLE GRAVITY PIPE TRENCH BEDDING
020.211	PIPE CONNECTIONS FOR STORM SEWER
030.221	RCP APRON SECTION FOOTING
030.222	CIRCULAR CONCRETE APRONS
030.223	ARCH AND ELLIPTICAL CONCRETE PIPE APRONS
030.224	CONCRETE PIPE APRON GUARD
6010.505	DOUBLE GRATE INTAKE
6010.603	CASTINGS FOR GRATE INTAKES
6010.604	CASTINGS FOR AREA INTAKES
010.101	JOINTS
010.102	PCC CURB DETAILS
010.901	PCC PAVEMENT JOINTING
010.904	TYPICAL JOINTING LAYOUT
030.202	CURB DETAILS FOR CLASS A SIDEWALK
030.210	DETECTABLE WARNING PLACEMENT
040.102	FILTER BERM AND FILTER SOCK
040.103	ROLLED EROSION CONTROL PRODUCT (RECAP) INSTALLATION ON SLOPES
040.110	RIP RAP FOR PIPE OUTLET ONTO FLAT GROUND
040.111	RIP RAP APRON FOR PIPE OUTLET INTO CHANNEL
040.119	SILT FENCE

SITE INFORMATION

EXISTING ZONING			SETBACKS		
UC MIXED-USE DE	VELOPMENT		FRONT:	15'	
			SIDE INTERNAL:	10'	
AREA CALCULATIONS			SIDE STREET:	15'	
TOTAL LOT SIZE:	3.06 AC		REAR:	30'	
EXISTING:			PARKING REQUIREM	IENTS	
BUILDING AREA	0 SF (0.00 AC)	0.0%	MULTIFAMILY:		
PAVEMENT AREA	0 SF (0.00 AC)	0.0%	1.5 SPACES PER 1-BE	DROOM: 15 @ 1.5 SPACE	ES = 23 STALLS
OPEN SPACE	133,294 SF (3.06 AC)	100.0%	2.0 SPACES PER 2-BEDROOM: 15 @ 2.0 SPACES= 30 STALLS		ES= 30 STALLS
PRE-DEVELOPMENT IMPER	VIOUS AREA: 0.09	% (0.00 AC)			
			TOTAL REQUIRED P	ARKING	53 STALLS
DEVELOPED:			TOTAL PROVIDED P	ARKING	53 STALLS
BUILDING AREA	10,494 SF (0.24 AC)	7.9%			
PAVEMENT AREA	25,552 SF (0.59 AC)	19.2%			
OPEN SPACE	297,248 SF (2.23 AC)	72.9%			
POST DEVELOPMENT IMPE	RVIOUS AREA: 27.1	L% (0.83 AC)			



C0.00	COVER SHEET
C0.01	LEGEND & GENI
C0.02	GENERAL NOTE
C1.00	EXISTING COND
C2.00	OVERALL SITE &
C3.00	GRADING & ERG
C4.00	PAVEMENT PLA

CITY OF MOUNT VERNON, IOWA

APPLICANT INFORMATION

OWNER/DEVELOPER:

KRIS ILLG COMMUNITY HOUSING INITIATIVES 300 E COURT AVE. DES MOINES, IA 50309 PHONE: 515-867-5338 EMAIL: KRIS@CHIHOUSING.COM

PROJECT INFORMATION

CONTACT PERSON:

NICK BETTIS AXIOM CONSULTANTS, LLC 300 S. CLINTON STREET, SUITE 200 IOWA CITY, IOWA 52240 PHONE: 319-519-6220 EMAIL: NBETTIS@AXIOM-CON.COM

UTILITY CONTACTS

ALLIANT ENERGY NAME: ALLIANT ENERGY FIELD ENGINEER PHONE: 800-255-4268 EMAIL: locate_IPL@alliantenergy.com

HILLS BANK AND TRUST COMPANY NAME: RANDY REINHOLD PHONE: 319-679-5448 EMAIL: rareinhold@hillsbank.com

MEDIACOM NAME: CHRIS KOHLER PHONE: 845-587-2574 EMAIL: ckohler@mediacomcc.com

MECHANICSVILLE TELEPHONE NAME: HANS ARWINE PHONE: 563-432-7221 EMAIL: MTCO@netins.net

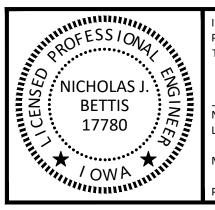
MOUNT VERNON, CITY OF NAME: CHRIS NOSBISCH PHONE: 319-895-8742 EMAIL: cnosbisch@cityofmtvernon-ia.gov



CITY APPROVAL

RESEF

BY:_____



SHEET INDEX NERAL NOTES ES DITIONS & UTILITY PLAN ROSION CONTROL PLAN AN		WWW.AXIOM-CON.COM (319) 519-6220
		ASK STUDIO
	COTTONWOOD APARTMENTS	MT VERNON, IOWA ASK
RVED FOR APPROVAL STAMP	ISSU	ED FOR RESS SET 02-14-24 DN DATE
HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT ERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	DESIGNED BY DETAILED BY CHECKED BY PROJECT NO. SHEI	NJB AEW NJB 23-0156 T NAME HEET
AVY LICENSE RENEWAL DATE IS DECEMBER 31, 2023. PAGES OR SHEETS COVERED BY THIS SEAL: ALL 'C' SHEETS AND L1.00	CO	.00

UTILITIES	EXISTING	PROPOSED
COMMUNICATIONS	(CO)	— со —
OVERHEAD LINE	—— (OH) ——	— он —
ELECTRIC	—— (E) ——	— е —
FIBER OPTIC	—— (FO) ——	— FO —
GAS	(G)	— G —
SANITARY SEWER	(S)	<u> </u>
STORM	—— (ST) ——	<u> </u>
SUBDRAIN	(SD)	SD
WATER: DOMESTIC	(W)	<u> </u>
COMM. HANDHOLE	С	С
COMM. PEDESTAL	C	
GUY WIRE ANCHOR	\leftarrow	\leftarrow
UTILITY POLE	Ő	Ø
UTILITY POLE WITH LIGHT	Qø	С¤-
LIGHT POLE	¢	¢
ELECTRIC TRANSFORMER	Ē	Ē
FIBER OPTIC HANDHOLE	FO	FO
GAS VALVE	8	8
SANITARY MANHOLE	SS	
SANITARY CLEANOUT	©	0
STORM MANHOLE	(ST)	
STORM INTAKE		
HYDRANT	Q	<u> </u>
WATER VALVE	8	Θ
CURB STOP	8	8
WELL		
SITE	EXISTING	PROPOSED
CONTOUR - INDEX	— 100 —	
CONTOUR - INTERMEDIATE	<u> </u>	—(100)—
FENCE: BARB WIRE	xx	xx
FENCE: CHAIN LINK		<u> </u>
FENCE: CONSTRUCTION	+++	<u>-+-++-+</u>
FENCE: VINYL	<i>—</i>	<u> # # </u> #
FENCE: WIRE	//////	<i></i>
FENCE: WOOD		
STREAM CENTERLINE		
SIGN		
SHRUBBERY	~~ 0	SEE LANDSCAPE PLAN
TREE: DECIDUOUS	$\{\cdot\}$	SEE LANDSCAPE PLAN
TREE: CONIFEROUS		SEE LANDSCAPE PLAN

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 2. THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT SHOWN ON THIS DRAWING.
- 3. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- 5. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- 6. NOTIFY THE APPROPRIATE GOVERNING AUTHORITY 48 72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. THE CITY OF MT. VERNON SHALL BE THE PUBLIC AGENCY RESPONSIBLE FOR INSPECTION DURING CONSTRUCTION OF THE PUBLIC PORTIONS OF THE PROJECT.
- 7. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- 8. PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- 9. ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- 10. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
- 11. WHERE UTILITIES ARE BACKFILLED, CONTRACTOR IS TO PROVIDE TRENCH BACKFILL TESTING RESULTS TO CITY OF MT. VERNON. BACKFILL UTILITIES UNDER PAVEMENT WITH SUITABLE NATIVE MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY. TRENCH COMPACTION TESTING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 3010 -3.06.

SITE PREPARATION NOTES

- 1. PROTECT ADJACENT PROPERTY DURING DEMO
- 2. MAINTAIN POSITIVE DRAINAGE ON THE SITE TH
- 3. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR MATERIAL OR BROKEN CONCRETE) WHICH IS NO THE WORK INVOLVED ON THIS PROJECT. NO PA ALLOWED FOR MATERIAL HAULED TO THESE SIT WITHIN THE EASEMENTS, UNLESS SPECIFICALLY THE ENGINEER. DISPOSAL SITES MUST BE APPR SHALL APPLY NECESSARY MOISTURE TO THE CO HAUL ROADS TO PREVENT THE SPREAD OF DUST ACCORDANCE WITH THE APPLICABLE GOVERNM
- 4. KEEP ADJACENT PUBLIC STREETS FREE FROM SO PROJECT. CLEAN SOIL AND DEBRIS FROM THE A
- 5. DURING CONSTRUCTION, CONTROL DUST SPRE AREAS.
- 6. REMOVAL OR ABANDONMENT OF PUBLIC UTIL APPROPRIATE UTILITY SUPPLIER AND REGULAT
- 7. ANY EXISTING FACILITIES (CURBS, PAVEMENT, OPERATIONS DAMAGE SHALL BE REPAIRED BY
- 8. REMOVE ALL DESIGNATED STREETS, DRIVEWAY EXCAVATIONS WITH COHESIVE MATERIAL COM NOTES.
- 9. WHERE A SECTION OF PAVEMENT, CURB AND O OTHERWISE DAMAGED BY THE CONTRACTOR, ^T AND REPLACED. PAVEMENT, CURBS, GUTTERS MINIMUM OF TWO FEET BEYOND THE EDGE OF JOINT.
- 10. SAWCUT EDGES OF PAVEMENT FULL DEPTH PRI TO ADJACENT SLABS AND FIXTURES.
- 11. IF APPLICABLE, THE CONTRACTOR SHALL BE RESE EXISTING CONCRETE STRUCTURES ON THE SITE REMOVAL INCLUDES DRIVEWAYS, CURB AND G FOUNDATION FOOTINGS, FLOOR AND WALLS. SEWER INTAKES AND PIPE AS SHOWN ON THE I
- 12. IF APPLICABLE, IT SHALL BE THE CONTRACTOR'S SHRUBS NOTED ON THE PLANS TO REMAIN IN I CONSTRUCTION ACTIVITY. PROTECTION INCLU CONSTRUCTION FENCING AROUND THE DRIP LI TRAFFIC WITHIN THE DRIP LINE OF TREES.
- 13. THE CONTRACTOR SHALL NOTIFY THE ENGINEE INDICATE THE METHOD OF RESOLVING THE CO THE PROPOSED METHOD. THE LOCATION OF T THE CONSTRUCTION RECORD DOCUMENTS.

EXISTING FIELD TILE LINES ENCOUNTERED IN TH CONTRACTOR IN ONE OF THE FOLLOWING WAY

- A. CONNECT TILE TO THE NEAREST STOR
- B. DAYLIGHT TO FINISHED GROUND.C. REPAIR TILE AND MAINTAIN SERVICE.

PAVEMENT GENERAL NOTES

- 1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM
- 2. ALL DIMENSIONS TO BACK-OF-CURB UNLESS N
- 3. REMOVE AND REPLACE OR RESTORE ALL STREET SIDEWALK LAMPS, SIDEWALKS, STEPS, LANDSC/ STREETS, DRIVES AND ALL OTHER SURFACE STR DAMAGED DURING THE COURSE OF THE WORK REPLACED TO NEAREST JOINT BEYOND CONSTR
- 4. COMPACT SUBGRADE BENEATH PAVEMENTS IN
- GRANULAR SUBBASE FOR PAVEMENTS SHALL M (MODIFIED SUBBASE) PER IOWA DOT STANDAR BRIDGE CONSTRUCTION SECTION 4123.
- 6. PROOF-ROLL SUBGRADE PER SECTION 2115. RE WITH SUITABLE COMPACTED MATERIAL.
- 7. ALL CURB AND GUTTER IS 6" STANDARD CURB STATED OTHERWISE.

LITION, IF APPLICABLE.	1.	PARKING AND STREET PCC PAVING THICKNESS SHALL BE 6-INCH ON 6-INCH GRANULAR SUBBASE, UNLESS STATED OTHERWISE.	1.	THE CON DUST CO
HROUGHOUT THE PROJECT DURATION.	2.	MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL		WATER P SPECIFIC
R EXCESS MATERIAL (EXCAVATED OT DESIRABLE TO BE INCORPORATED INTO AYMENT FOR OVERHAUL WILL BE		MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.	2.	THE CON
ITES. NO MATERIAL SHALL BE PLACED Y STATED IN THE PLANS OR APPROVED BY ROVED BY THE ENGINEER. CONTRACTOR ONSTRUCTION AREA AND TEMPORARY ST. OFF-SITE DISPOSAL SHALL BE IN MENTAL REGULATIONS.	3.	MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% ± 1.5% COARSE AGGREGATE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2.	3.	THE CON SEDIMEN MEASURI RESTORE PERMITT
OIL AND DEBRIS GENERATED BY THE ADJACENT STREETS ON A DAILY BASIS.	4.	JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.	4.	ERECT SIL FROM TH PERMAN
ADING FROM ALL WORK AND STAGING	5.	CURING COMPOUND (WHITE, DARK OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR SECTION 4105. APPLICATION METHOD AND CURING SHALL	5.	MINIMIZI THE GRA
ITIES SHALL BE FULLY COORDINATED WITH ORY AGENCIES.		CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19.	6.	INSTALL A
UTILITIES, ETC.) THAT THE CONTRACTOR'S THAT CONTRACTOR AT HIS/HER COST. /S, ETC. IN THEIR ENTIRETY. BACKFILL ALL	6.	FLYASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIFIED IN SECTION 2301.04E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.	7.	THE CON DISTURBI NOT BE C
GUTTER OR SIDEWALK IS CUT OR THE ENTIRE SECTION SHALL BE REMOVED	7.	PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.	8.	SEQUENO A.
AND SIDEWALKS SHALL BE REMOVED A F THE TRENCH CUT AND TO THE NEAREST	8.	CURBS SHALL BE CAST INTEGRAL WITH CONCRETE PAVEMENT UNLESS NOTED OTHERWISE.		В.
IOR TO REMOVAL TO PREVENT DAMAGE	9.	ALL SIDEWALK SHALL BE 4" THICK WITH 4" MODIFIED SUBBASE PER DETAIL 3, C9.00.		C.
SPONSIBLE FOR THE REMOVAL OF ALL AS SHOWN ON THE PLANS. THE GUTTER, SIDEWALK, AND BASEMENT THE REMOVAL ALSO INCLUDES STORM PLANS.		TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS 5 FEET OR LESS IN WIDTH SHALL BE PLACED A MAXIMUM OF 5 FEET ON CENTER. TRANSVERSE CONSTRUCTION JOINT SPACING FOR PCC SIDEWALKS GREATER THAN 5 FEET WIDE BUT LESS THAN 12 FEET WIDE SHALL BE PLACED A MAXIMUM OF 8 FEET ON CENTER. PLACE EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% DRAINING TOWARDS BACK OF CURB, UNLESS		D. E.
S RESPONSIBILITY TO PROTECT TREES AND PROJECT AREA FROM DAMAGE DUE TO IDES, BUT IS NOT LIMITED TO, INE OF TREES AND PROHIBITING VEHICLE	10.	OTHERWISE NOTED. ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "F" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.		F.
ER IF A TILE IS ENCOUNTERED AND SHALL INFLICT. THE ENGINEER SHALL APPROVE THE FIELD TILE SHALL BE RECORDED ON	11	CONSTRUCT 1" EXPANSION JOINTS ON PCC CURB AT ALL ENDS OF RETURN RADII.	G	RADING
HIS PROJECT SHALL BE REPAIRED BY THE		INERAL UTILITY NOTES	1.	PROOF R ALL UNSU PROOFRO
YS: RM SEWER.		ALL PERMITS SHALL BE SECURED AND FEES SHALL BE PAID PRIOR TO START OF CONSTRUCTION.	2.	REMOVE MEET SPI
	1.	VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.	3. 4.	SCARIFY STANDAF DO NOT I
TO AVOID PONDING.	2.	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.		WEATHE
OTED OTHERWISE.	3.	PROTECT EXISTING UTILITIES DURING CONSTRUCTION.		LIMITS.
T SIGNS, PAVEMENT MARKINGS, APE STRUCTURES, CURB AND GUTTER,	-	THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN AS-BUILTS REGARDING ASPECTS OF	5.	PLACE FIL
RUCTURES REMOVED OR OTHERWISE K. SIDEWALKS SHALL BE REMOVED AND RUCTION AREA. N ACCORDANCE WITH GRADING NOTES.	4.	THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN AS-BOILTS REGARDING ASPECTS OF THE PROJECT WHICH DIFFER FROM THE CONTRACT DOCUMENTS. THIS INCLUDES BOTH EXISTING FACILITIES ENCOUNTERED AND PROPOSED FACILITIES CONSTRUCTED. THE INFORMATION SHALL INCLUDE LOCATION, DIMENSION AND MATERIAL DATA. THE LOCATION OF UNDERGROUND FACILITIES SHALL BE NOTED IF THEY DIFFER FROM THE	6.	FILL MAT MIXTURE SHALL CC MORE TH GREATES
MEET THE LIMITS OF GRADUATION NO. 14 RD SPECIFICATION FOR HIGHWAY AND		PLANS BY MORE THAN 2 FEET HORIZONTALLY AND 0.5 FEET VERTICALLY OR ARE NOT SHOWN. FACILITIES CONSTRUCTED OR ENCOUNTERED ABOVE GROUND SHALL BE NOTED IF THEY DIFFER FROM THE PLANS BY MORE THAN 1 FOOT HORIZONTALLY AND 0.25 FEET VERTICALLY.	7.	SCARIFY GRADING PROCTOF
EMOVE AND REPLACE UNSTABLE AREAS	5.	CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY OF MT. VERNON FOR ANY VARIANCE FROM THE APPROVED PLAN.	8.	BE COMP
PER SUDAS FIGURE 7010.102 UNLESS	SU	RFACE RESTORATION NOTES		OF MATE COMPAC SUBSEQL
	1.	ALL DISTURBED AREA WILL BE REPLACED WITH PAVEMENT OR BUILDING. ANY GRASSED AREA DISTURBED TO BE SEEDED PER SUDAS SECTION 9010.		WITHIN 1 STANDAF
			9.	FINISH CO

PCC PAVEMENT NOTES

10. REFER TO TERRACON GEOTECHNICAL REPORT FROM 10-6-2023 FOR ADDITIONAL INFORMATION.

EROSION CONTROL NOTES

NTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL, SEDIMENT, AND ONTROL IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT'S STORM POLLUTION PREVENTION PLAN AND THE STATEWIDE URBAN DESIGN AND CATIONS (SUDAS), UNLESS OTHERWISE NOTED.

NTRACTOR SHALL INCORPORATE ALL NECESSARY EROSION CONTROL FEATURES E PROJECT PRIOR TO DISTURBING THE SOIL.

NTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE TEMPORARY EROSION AND NT CONTROL MEASURES A MINIMUM OF ONCE PER WEEK. IF A CONTROL RE HAS BEEN REDUCED IN CAPACITY BY 50% OR MORE, THE CONTRACTOR SHALL E SUCH FEATURES TO THEIR ORIGINAL CONDITION IMMEDIATELY, WEATHER FING.

LT FENCE OR SOCK AS SHOWN ON THE PLANS TO LIMIT LOSS OF MATERIAL HE SITE. DEVICES TO REMAIN IN PLACE AND TO BE MAINTAINED UNTIL A IENT GROUND COVER IS ESTABLISHED.

ZE SOIL EROSION BY MAINTAINING ALL EXISTING VEGETATIVE GROWTH WITHIN ADING LIMITS FOR AS LONG AS PRACTICAL.

A SILT FENCE AROUND ALL STOCKPILED TOPSOIL.

NTRACTOR SHALL PROVIDE TEMPORARY SEEDING FOR ALL AREAS THAT ARE SED AND OPERATIONS WILL NOT COMMENCE OR PERMANENT SEEDING WILL COMPLETED IN LESS THAN 14 DAYS.

ICE OF EROSION AND SEDIMENT CONTROL EVENTS:

INSTALL PERIMETER SILT FENCE OR SOCK AS INDICATED ON THE SITE CONSTRUCTION PLAN.

INSTALL SILT FENCE AROUND ANY TOPSOIL OR EXCESS SOIL STOCKPILES. APPLY TEMPORARY SEEDING TO ALL TOPSOIL OR EXCESS SOIL STOCKPILES.

INSTALL STONE SUBBASE FOLLOWING COMPLETION OF GRADING.

APPLY TEMPORARY SEEDING TO ALL DENUDED AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR 14 DAYS OR MORE. FERTILIZE AND LIME IF NEEDED. APPLY MULCH ON SLOPES GREATER THAN 4:1 (HORIZONTAL:VERTICAL).

DESTROY TEMPORARY SEEDING AND APPLY PERMANENT SEEDING TO ALL DISTURBED AREAS NOT TO BE HARD SURFACED. FERTILIZE AND MULCH PERMANENT SEEDING AS REQUIRED. APPLY MULCH AT 1.5 TO 2.0 TONS PER ACRE ON SLOPES GREATER THAN 4:1.

WHEN CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH PERMANENT SEEDING, REMOVE ACCUMULATED SEDIMENT FROM ANY SEDIMENT BASINS, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVALS.

i NOTES

ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. SUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. ROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT.

E AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO PECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT.

EXISTING SUBGRADE TO A DEPTH OF 12 INCHES AND RECOMPACT TO 98% OF RD PROCTOR DENSITY (ASTM D698) PRIOR TO PLACEMENT OF FILL.

PLACE, SPREAD, OR COMPACT ANY FILL MATERIAL DURING UNFAVORABLE ER CONDITIONS AND DO NOT RESUME COMPACTION OPERATIONS UNTIL IRE CONTENT AND DENSITY OF IN-PLACE FILL MATERIAL ARE WITHIN SPECIFIED

ILL MATERIAL IN 9" MAXIMUM LIFTS.

TERIAL OBTAINED FROM OFF-SITE SOURCES SHALL BE SOIL OR SOIL AND ROCK E FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES. IT CONTAIN NO ROCKS OR LUMPS OF 6 INCHES IN GREATEST DIMENSION AND NOT HAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2-1/2 INCHES IN ST DIMENSION.

AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH G IS COMPLETED. COMPACT THE ENTIRE PAVING SUBGRADE TO 95% STANDARD OR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO PACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).

S TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS. REMOVE TOP 12" ERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. CT RESULTING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY. UENT FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DRY DENSITY TO 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% ARD PROCTOR DRY DENSITY (ASTM D698).

ONTOURS SHOWN ARE TO TOP OF FINISHED GRADE OR TO TOP OF TOPSOIL.

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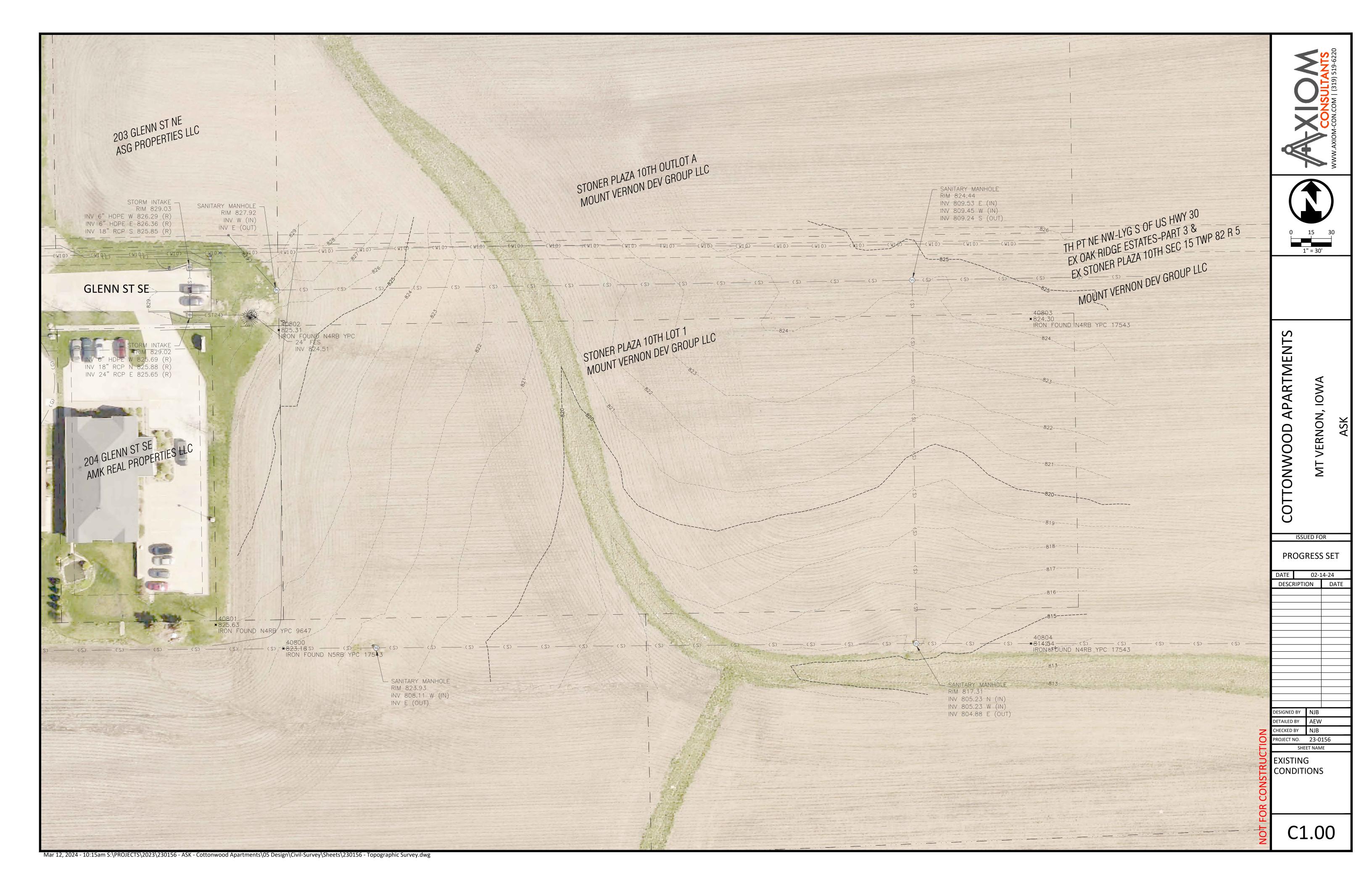
WATER MAIN NOTES (SUDAS):

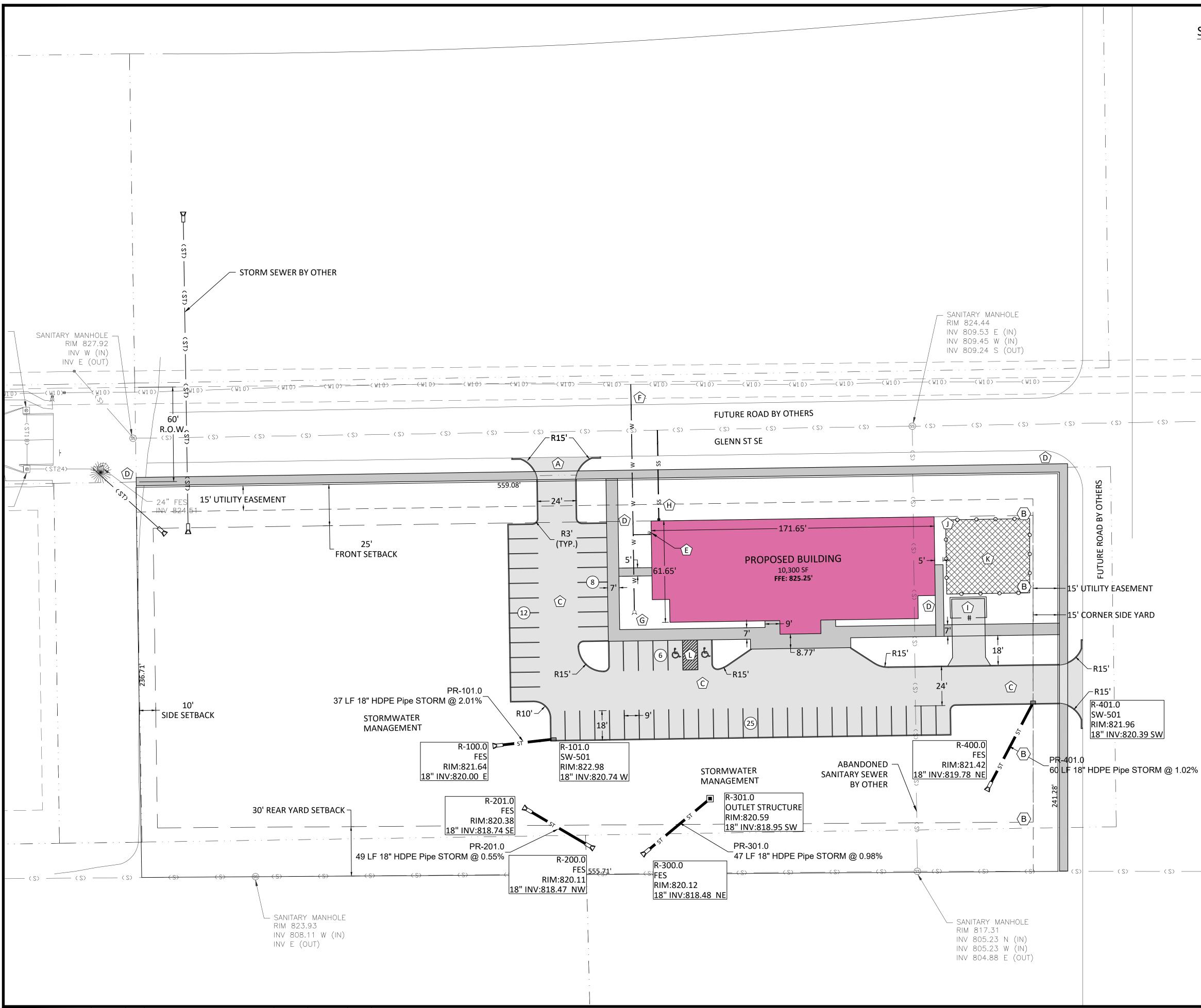
- 1. WATER LINES SHALL BE CONSTRUCTED PER SUDAS SPECIFICATIONS, 2022 EDITION.
- 2. WATER LINES SHALL BE CONSTRUCTED OF THE FOLLOWING MATERIALS PER SUDAS SECTION 5010:

Lenon Joio.	
PIPE MATERIAL	BEDDING CLASS
PVC AWWA C900	P-1
JOINTS AND FITTING	BEDDING CLASS
MECHANICALLY RESTRAINED DUCTILE IRON	P-1

- 3. ALL WATER MAINS AND SERVICE LINES SHALL BE INSTALLED WITH TRACER WIRE
- 4. WATER MAIN FITTINGS SHALL BE MECHANICAL JOINTS . MEGALUG 2000PV FOR PVC PIPE.
- 5. CONCRETE THRUST BLOCKS COMPLYING WITH SUDAS FIGURE 5010.101 SHALL BE USED FOR PIPE SIZES SIXTEEN INCHES AND SMALLER AND ARE REQUIRED AT ALL HYDRANTS, BENDS, VALVES, CROSSES, AND TEES.
- 6. CURB STOPS SHALL BE LOCATED AS INDICATED ON THE PLANS. MAINTAIN 36" HORIZONTAL SEPARATION BETWEEN SEWER AND WATER SERVICES. THE ENDS OF WATER SERVICES SHALL BE MARKED WITH A 2X4 POSTS PAINTED BLUE.
- CONTRACTOR MAY DEFLECT WATER MAIN PER MANUFACTURER'S SPECIFICATIONS FOR HORIZONTAL DEFLECTION. PIPE DEFLECTION IS NOT ALLOWED FOR VERTICAL DEFLECTIONS.
- 8. THE APPROVING AUTHORITY SHALL OPERATE ALL EXISTING SYSTEM VALVES AND THE CONTRACTOR AND CITY SHALL COORDINATE ANY SHUT DOWNS TO THE EXISTING SYSTEM. THE CONTRACTOR SHALL MAKE ACCOMMODATIONS IN THE SCHEDULE TO ALLOW FOR ADEQUATE PUBLIC NOTICE AS REQUIRED BY THE APPROVING AUTHORITY.
- 9. CONSTRUCTION OF PUBLIC AND PRIVATE WATER SYSTEM IMPROVEMENTS REQUIRES AN APPROVED PLAN SET ON FILE WITH THE APPROVING AUTHORITY. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE APPROVING AUTHORITY FOR ANY VARIANCE FROM THE APPROVED PLAN.
- 10. ALL TAPS FOUR INCHES AND LARGER SHALL BE "LIVE' TAPS USING AN APPROVED TAPPING SLEEVE AND VALVE, UNLESS NOTED OTHERWISE. THE APPROVING AUTHORITY SHALL WITNESS AND/OR PERFORM ALL TAPS.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND ARRANGING ON SITE INSPECTION OF WATER MAIN INSTALLATION WITH THE APPROVING AUTHORITY.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING AND RELATED COSTS INCLUDING, BUT NOT LIMITED TO, FILLING AND FLUSHING NEW MAINS, AND ALL REQUIRED SAMPLING. DISPOSAL OF HIGHLY CHLORINATED WATER SHALL BE IN COMPLIANCE WITH STATE, LOCAL, AND FEDERAL REGULATIONS. ALL TESTING TO COMPLY WITH THE REQUIREMENTS OF SUDAS SECTION 5030. ALL INSPECTION AND TESTING COSTS ARE INCIDENTAL TO THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- 13. THE MINIMUM DEPTH OF BURY FOR ALL WATER MAINS AND WATER SERVICES IS FIVE FEET SIX INCHES (5' - 6"), MEASURED FROM FINAL GRADE TO TOP OF WATER MAIN PIPE, UNLESS NOTED OTHERWISE.

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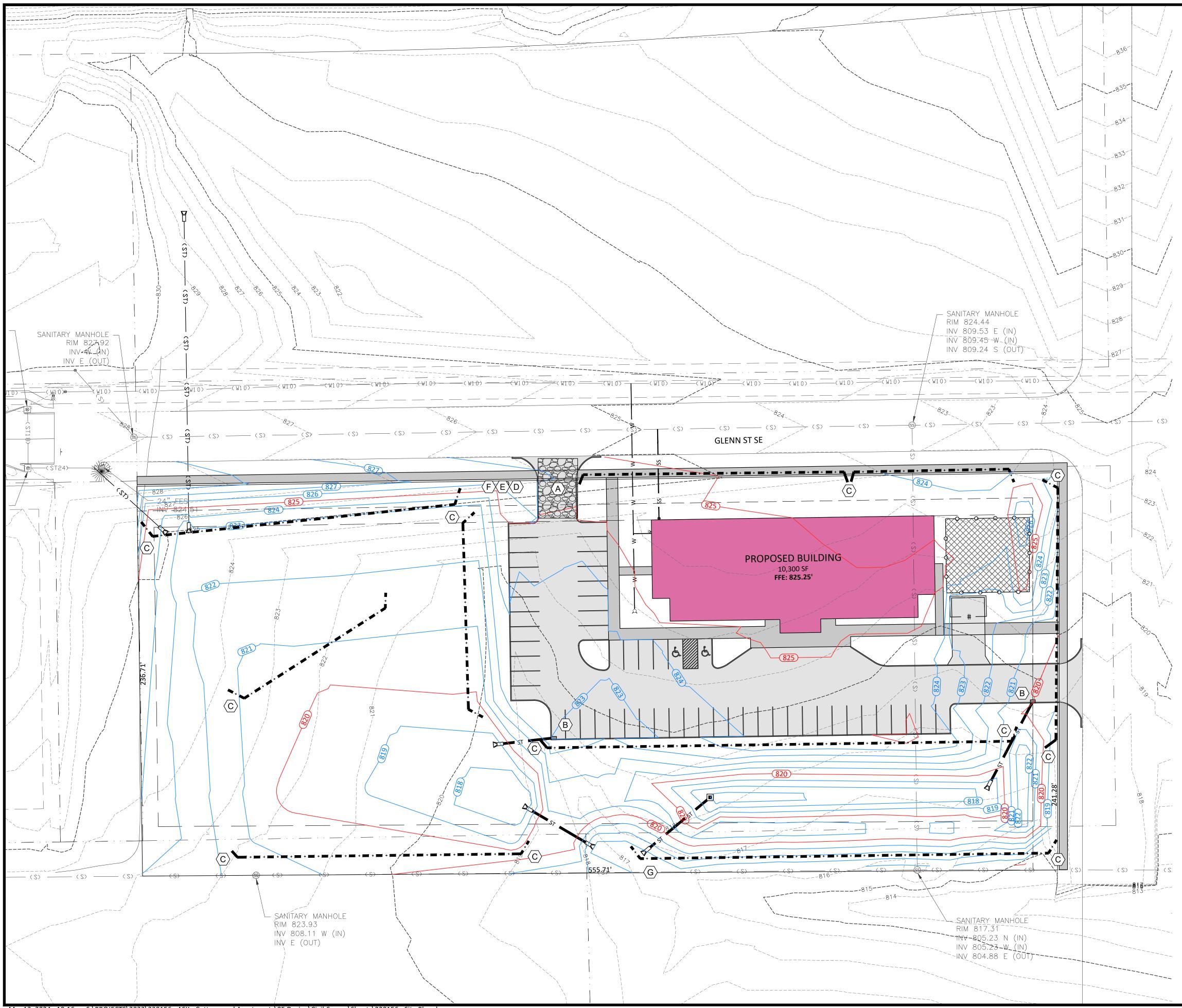




SITE PLAN KEYNOTES:

- A PROPOSED PCC DRIVEWAY PER SUDAS 7030.103 & SUDAS TYPE A DETAIL A 7030.101 DRIVEWAY CONSTRUCTION.
- B PROPOSED 4' BERM BY OTHERS.
- C PROPOSED HEAVY DUTY PAVEMENT. SEE SHEET C4.00 DETAIL #1.
- D PROPOSED PCC SIDEWALK PAVEMENT. SEE SHEET C4.00 DETAIL #2.
- E FDC LOCATION
- F PROPOSED 135 LF 6" PVC WATER SERVICE. LIVE TAP WITH TAPPING SADLE AND SLEEVE. INSTALL CURB STOP 1' BEHIND PROPOSED SIDEWALK. CONTRACTOR TO COORDINATE CONNECTION WITH CITY.
- $\langle \widehat{G} \rangle$ PROPOSED FIRE HYDRANT ASSEMBLY.
- H PROPOSED 53 LF 6" PVC SANITARY SERVICE WITH CLEANOUT. CONTRACTOR TO COORDINATE CONNECTION WITH CITY.
- DUMPSTER ENCLOSURE WITH 7" CONCRETE PAD WITH SOLID WOOD FENCE AND GATES.
- \bigcirc ELECTRIC TRANSFORMER. SEE ELECTRICAL PLAN.
- K DOG PLAY AREA. MIN. 4-FT CHAINLINK FENCE ENCLOSURE.
- (L) ADA STALLS. VAN ACCESSIBLE MIN. 13'x18' (INCLUDES GORE AREA). REGULAR ADA STALL 8'x18' MIN.

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GRADING & EROSION CONTROL KEYNOTES:

- $\langle \mathsf{A}
 angle$ STABILIZED CONSTRUCTION ENTRANCE
- $\langle \mathsf{B} \rangle$ inlet protection
- $\langle \overline{\mathrm{C}}
 angle$ SILT FENCE / FILTER SOCK
- $\langle {
 m D}
 angle$ concrete washout area
- **(E)** TEMPORARY SANITATION FACILITY
- $\langle F \rangle$ DUMPSTER / TRASH CONTAINER
- G MAINTAIN EXISTING VEGETATION WHERE POSSIBLE TO LIMIT EROSION POTENTIAL

NOTES:

- 1. ALL MEASURES SHALL MEET SUDAS SPECIFICATIONS.
- 2. ITEMS ARE SHOWN IN RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A SUITABLE LOCATION, INDICATE THE REVISION ON THE SITE GRADING AND EROSION CONTROL PLAN. THE ADDITIONAL PRACTICES FOR EROSION PREVENTIONS AND SEDIMENT CONTROL CAN BE FOUND IN THE SWPPP.

STORMWATER POLLUTION PREVENTION

SITE AREA: THE SITE IS APPROXIMATELY 3.06 ACRES OF WHICH 3.06 ACRES WILL BE DISTURBED BY CONSTRUCTION ACTIVITIES.

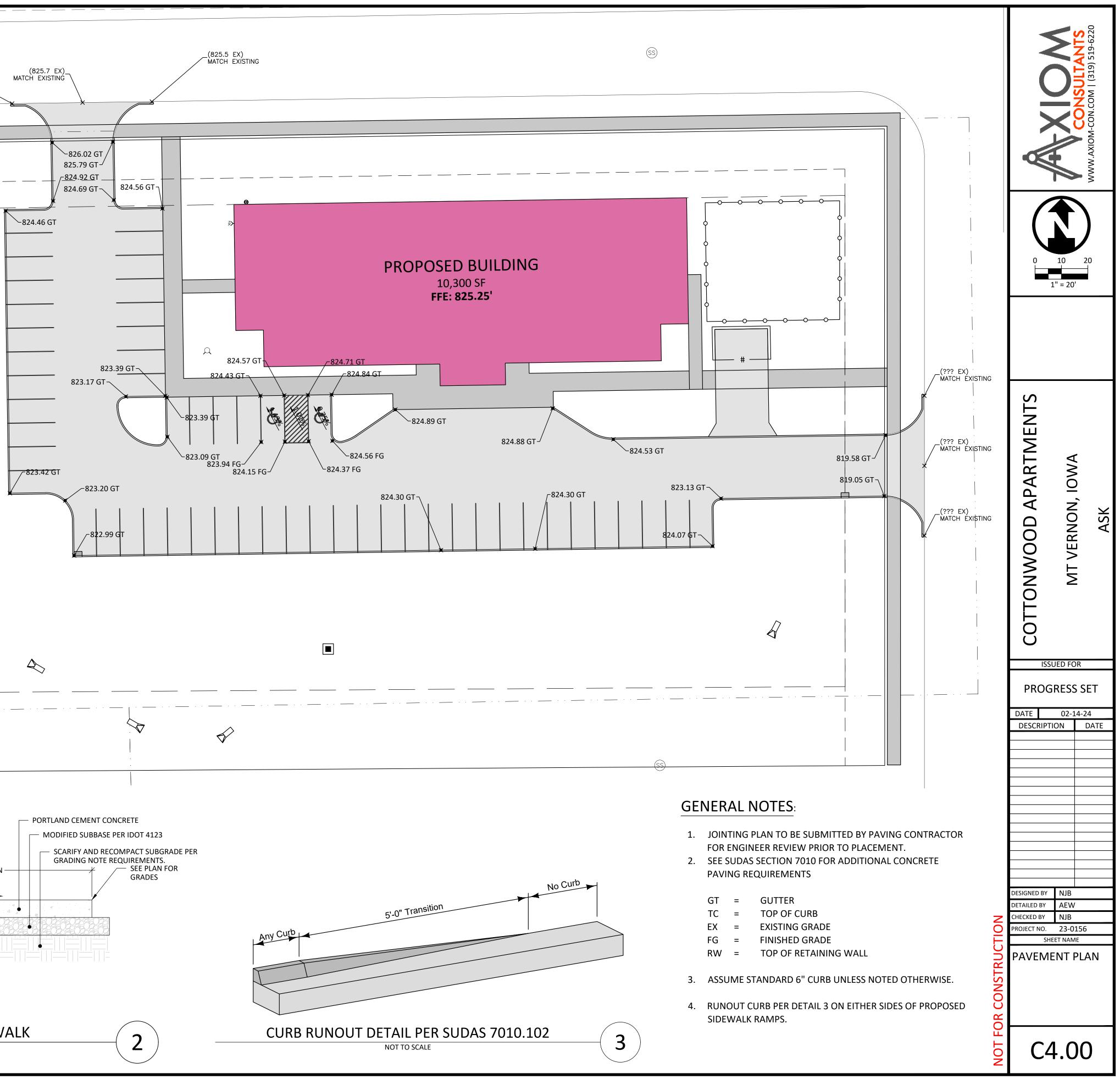
DISTURBED AREA IS GREATER THAN 1.00 ACRE, GENERAL PERMIT 2 (GP2) IS REQUIRED.

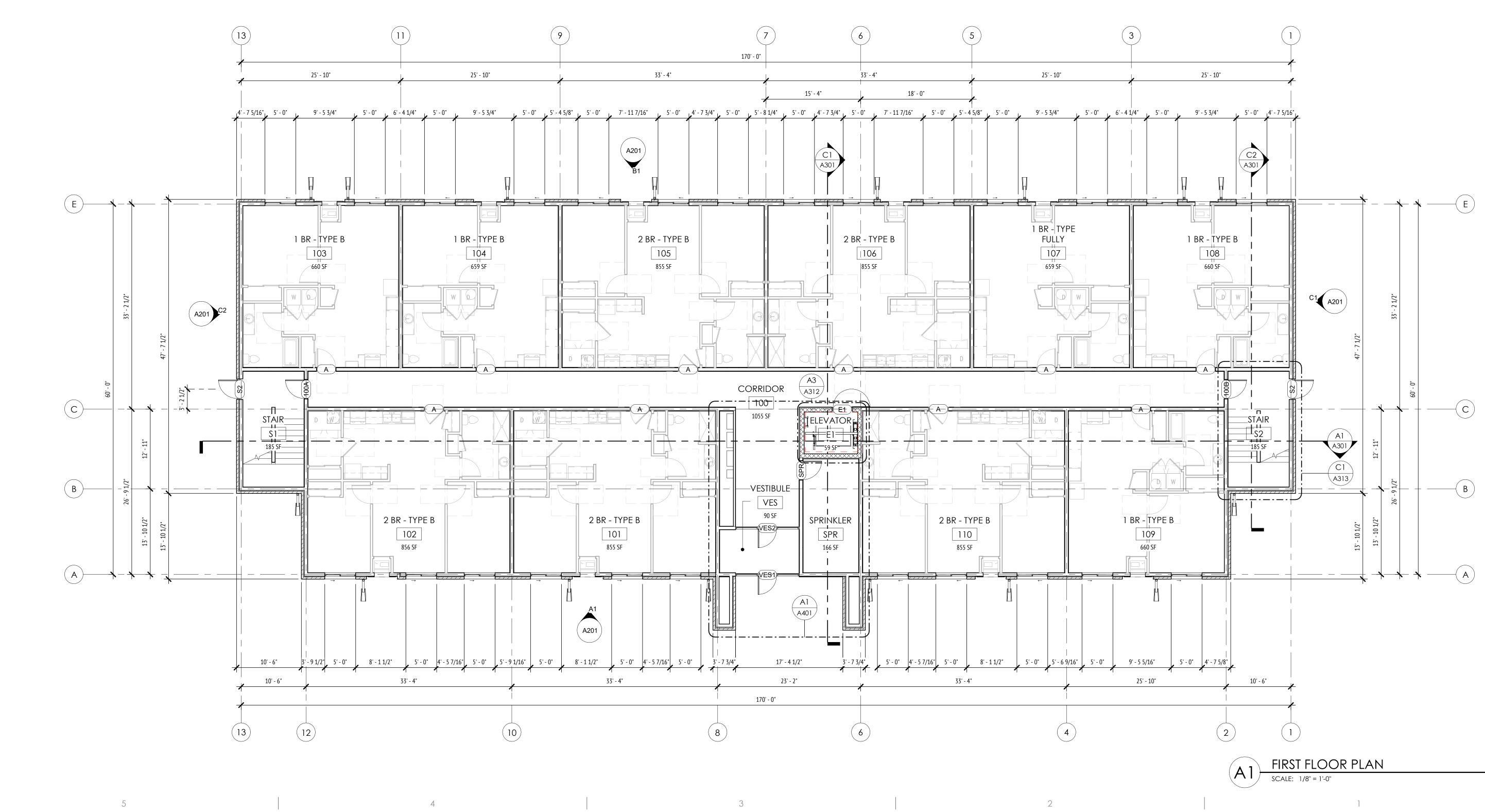
THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES FROM THE DATE CONSTRUCTION ACTIVITIES BEGIN TO THE DATE OF FINAL STABILIZATION. THE CONTRACTOR SHALL MAINTAIN THE SWPPP PER THE REQUIREMENTS OF GENERAL PERMIT NO. 2. ALL OPERATORS/CONTRACTORS WORKING ONSITE MUST SIGN THE CERTIFICATION STATEMENT PROVIDED AND WILL BECOME CO-PERMITTES ON THE NPDES GENERAL PERMIT NO. 2 FOR THIS SITE. ALL OPERATORS/SUBCONTRACTORS WORKING ONSITE SHALL BE SUPPLIED A COPY OF THE SWPPP BY THE CONTRACTOR AND MUST BE FAMILIAR WITH

ITS CONTENTS. THE SWPPP MUST BE PERIODICALLY UPDATED TO SHOW CURRENT EROSION CONTROL PRACTICES PER THE REQUIREMENTS OF THE GENERAL PERMIT #2. UPDATED VERSIONS OF THE SWPPP WILL BE PROVIDED TO ALL OF THE OPERATORS/SUBCONTRACTORS WHOM ARE AFFECTED BY THE CHANGES MADE TO THE SWPPP. IT WILL BE THE DUTY OF THE CONTRACTOR TO SEE THAT THESE REQUIREMENTS ARE MET.

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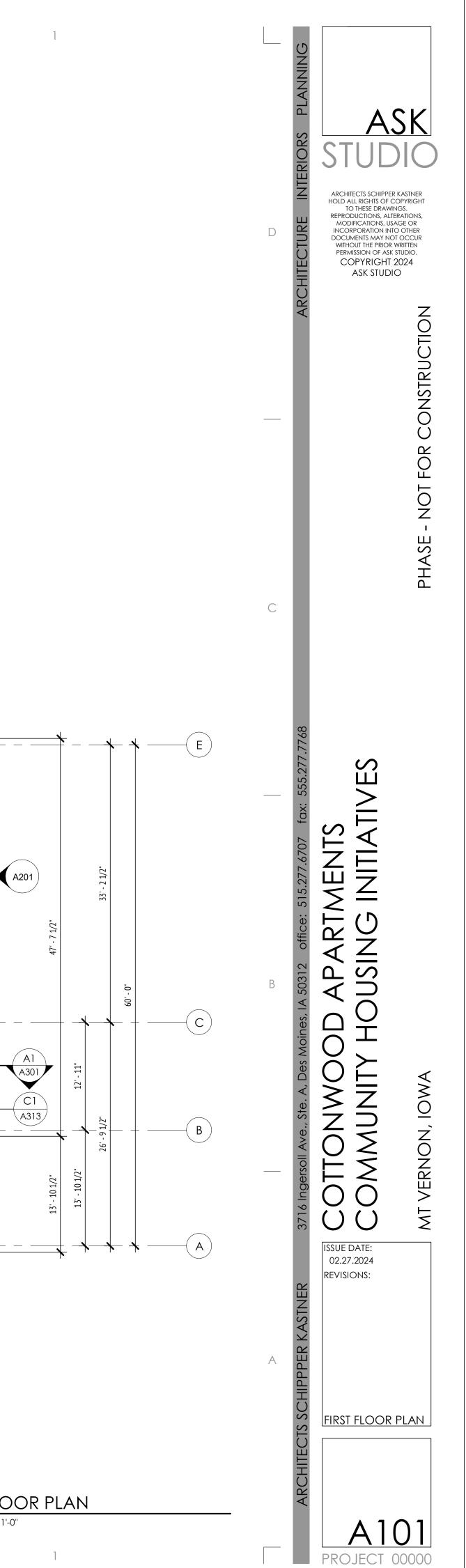


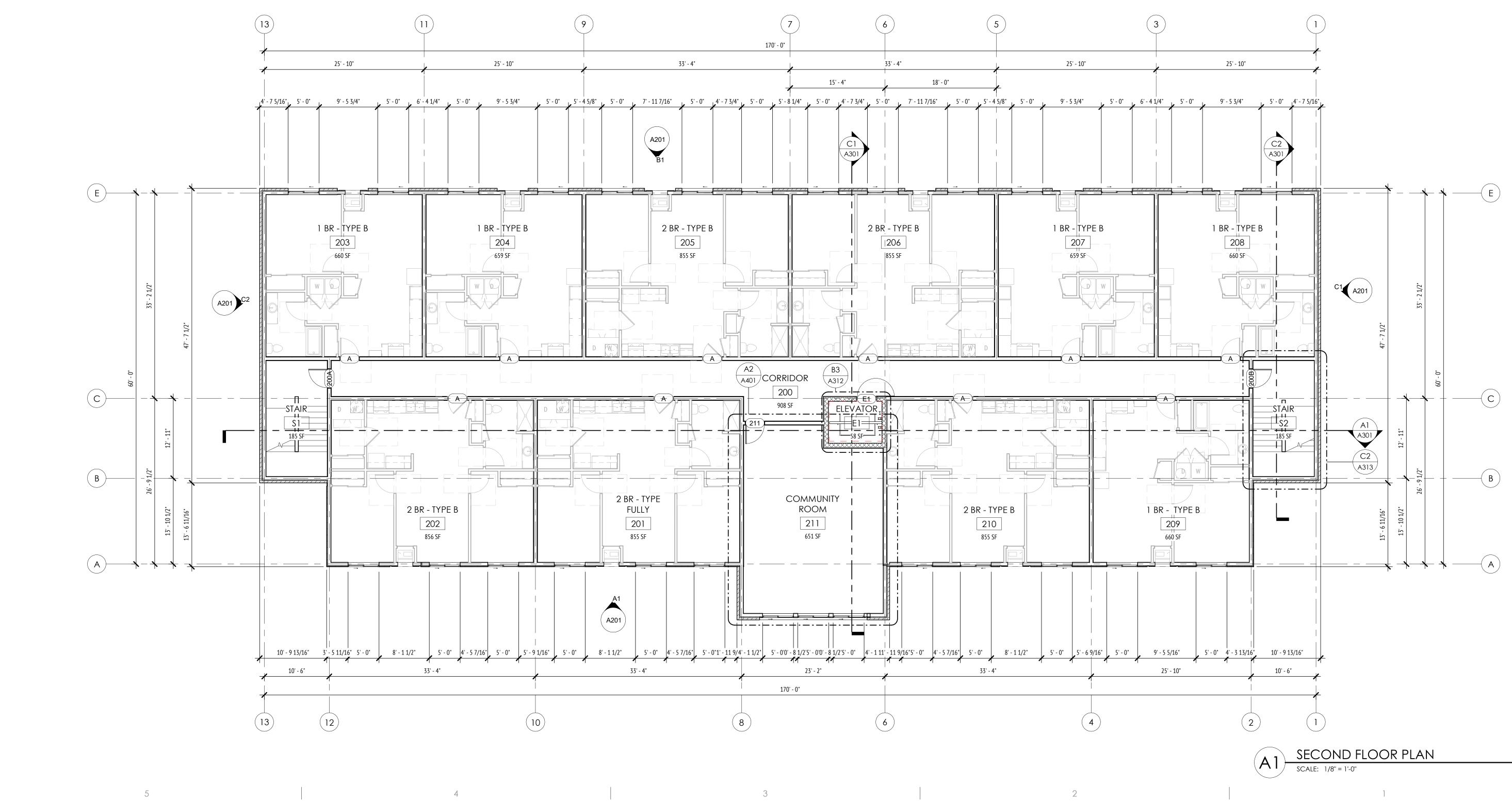
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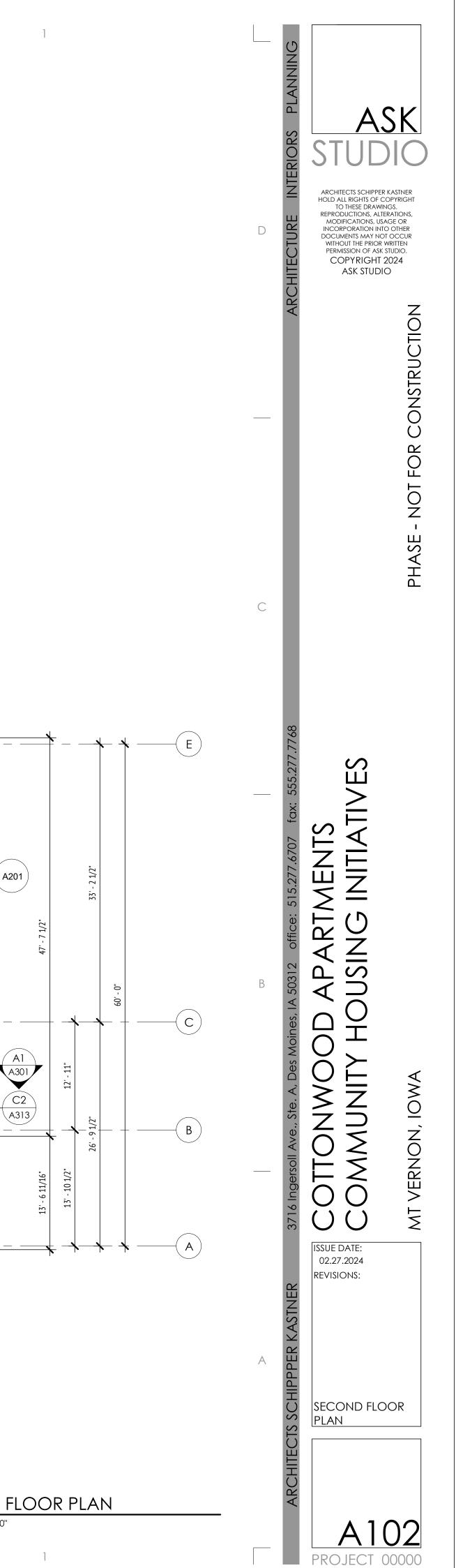


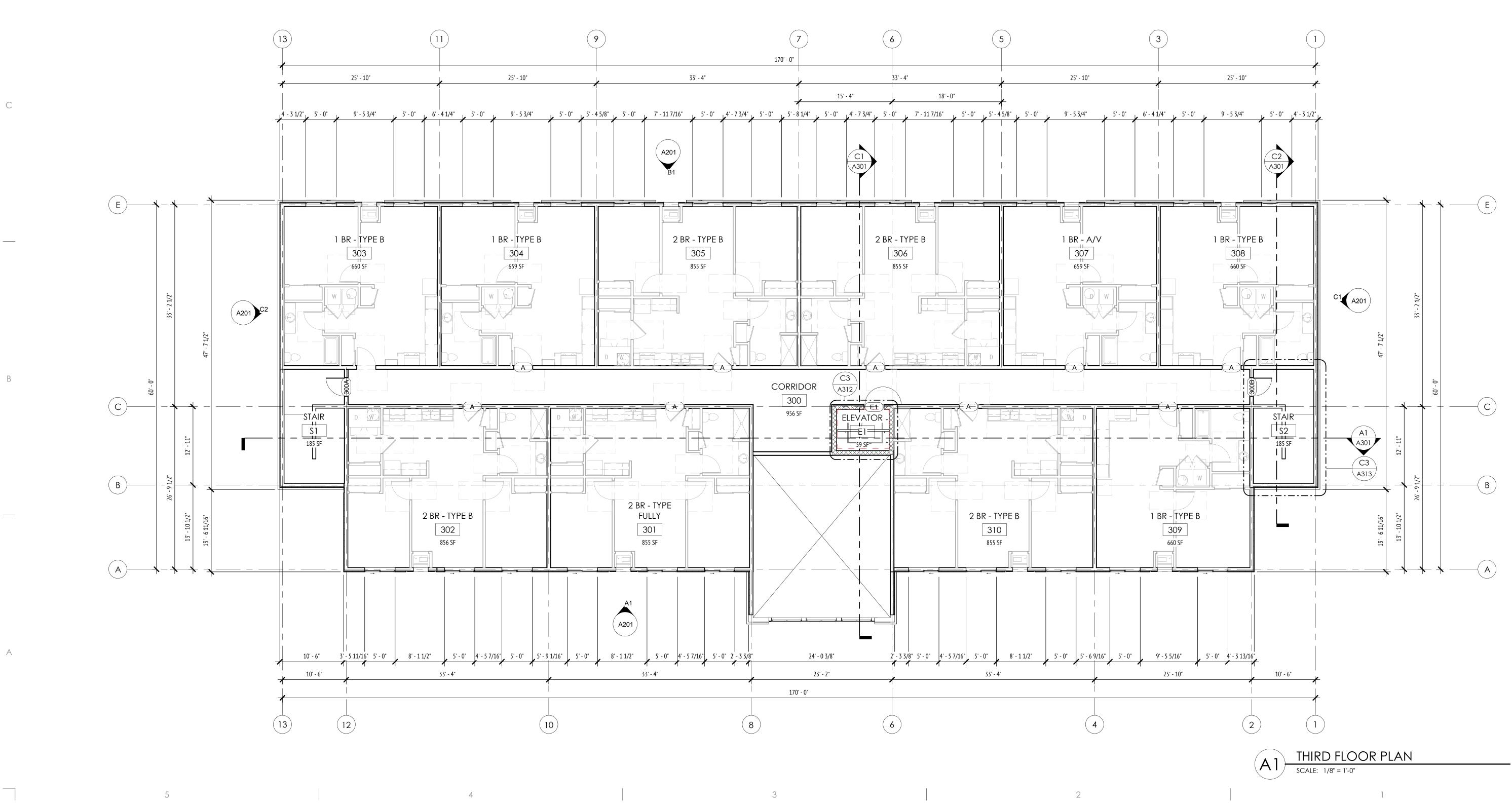


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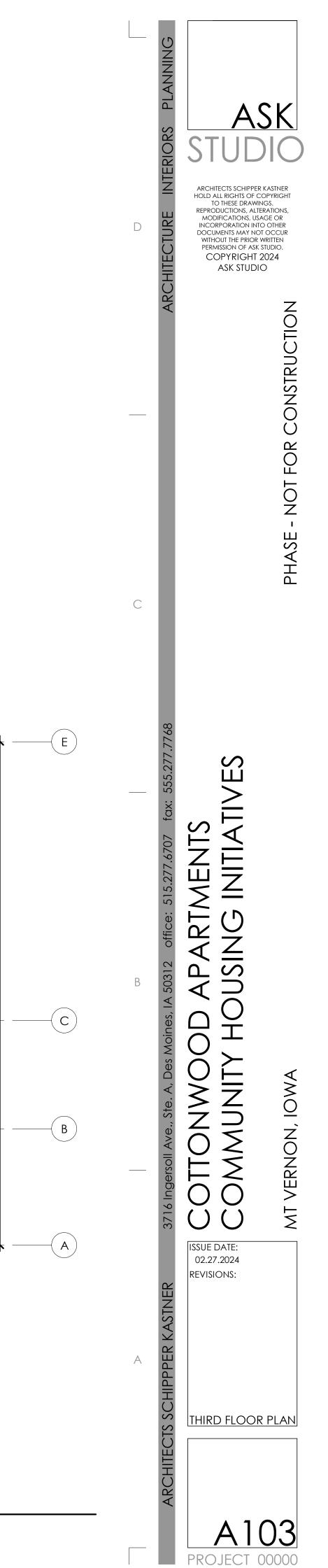


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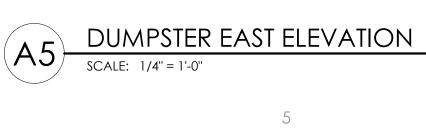
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